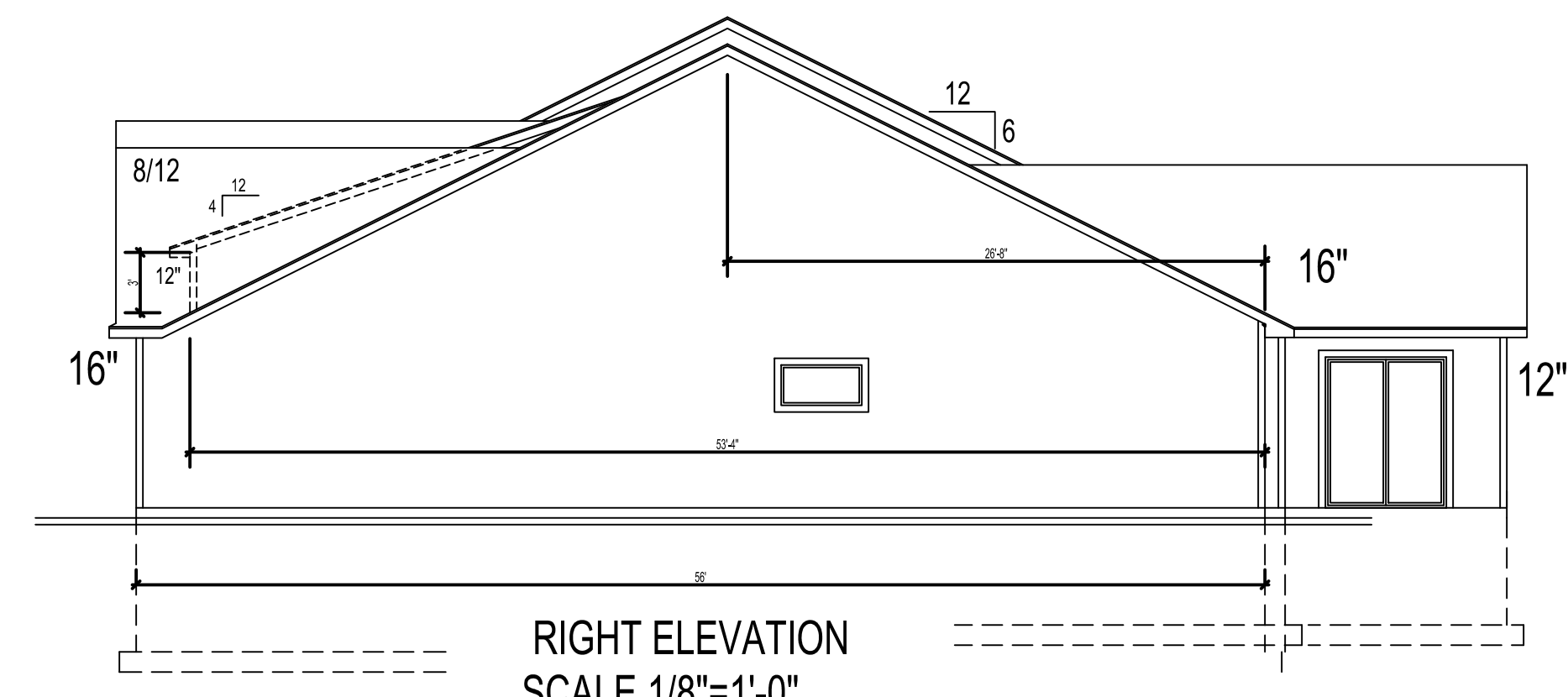
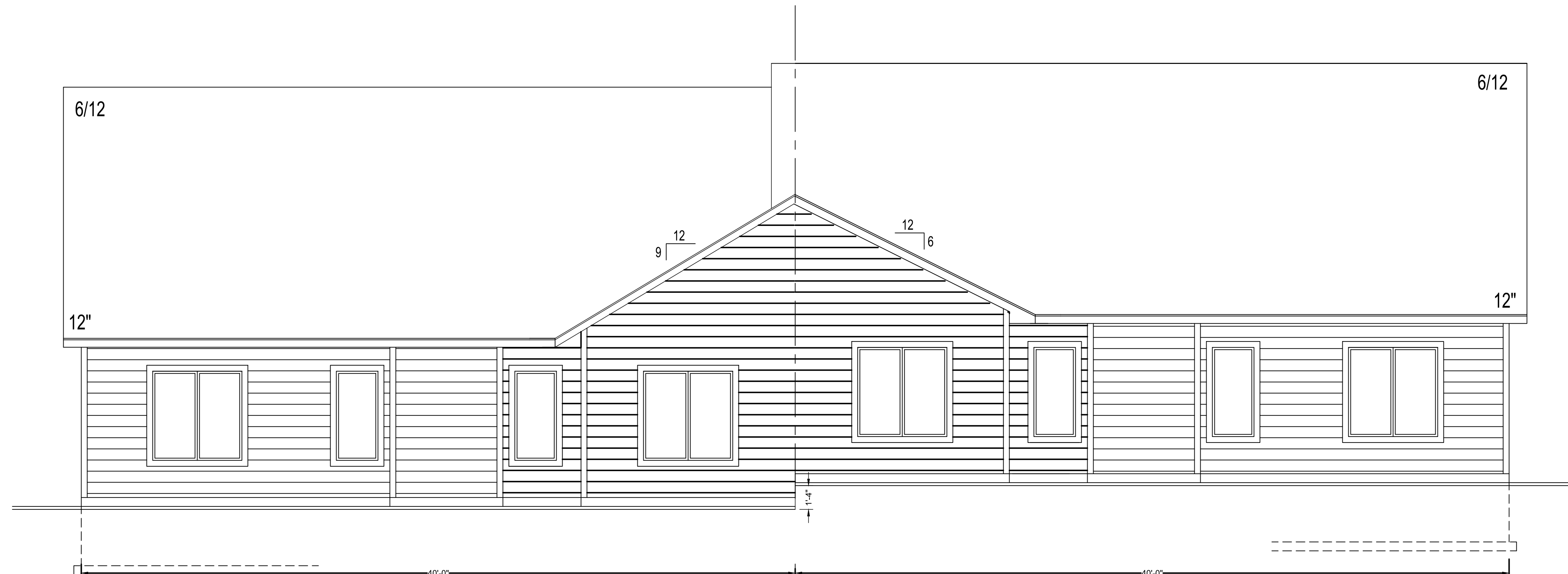


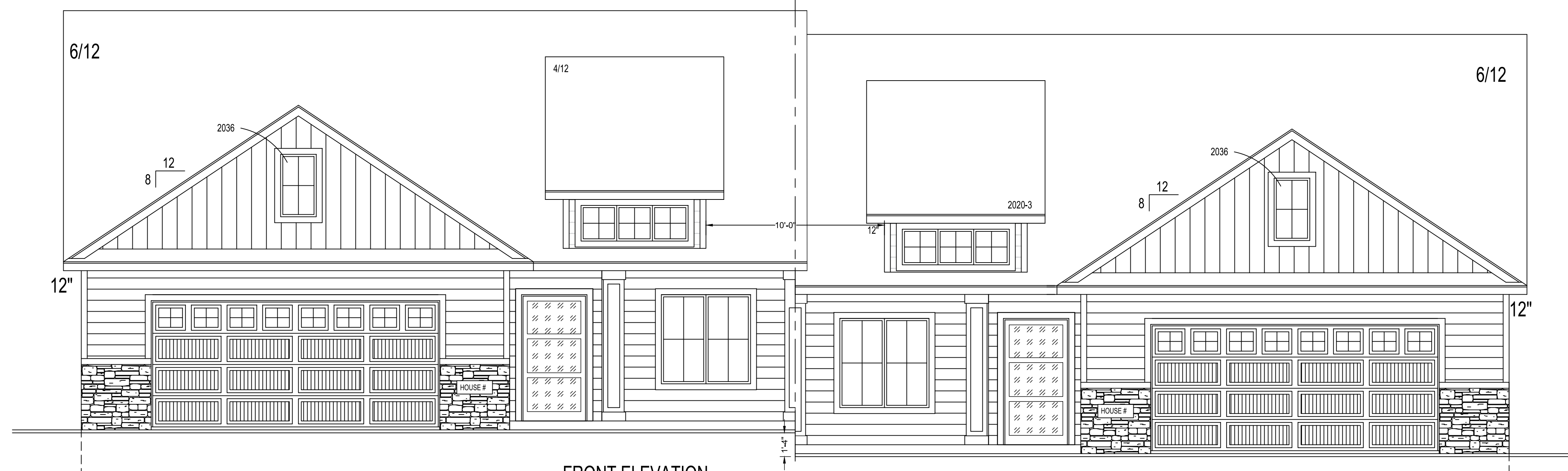
LEFT ELEVATION
SCALE 1/8"=1'-0"



RIGHT ELEVATION
SCALE 1/8"=1'-0"



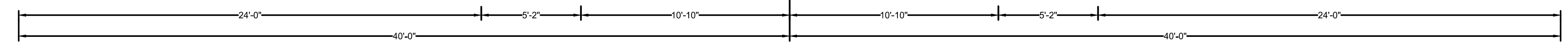
REAR ELEVATION
SCALE 1/4"=1'-0"



FRONT ELEVATION
SCALE 1/4"=1'-0"

DIETZ - LOT 5, BLK. 5

MODEL - LOT 6, BLK. 5



THESE PLANS ARE INTENDED BY BIGELOW ENTERPRISES INC. AS A GUIDE FOR BUILDERS WHO ARE KNOWLEDGEABLE ABOUT NORMAL CONSTRUCTION STANDARDS AND LOCAL CODES AND PRACTICES. BIGELOW ENTERPRISES INC. WILL REVISE ITS PLANS TO CORRECT ANY ERRORS OR OMISSIONS DISCOVERED AND REPORTED BY THE BUILDER BEFORE START OF HIS WORK, BUT ASSUMES NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR IMPROPER CONSTRUCTION THEREAFTER.

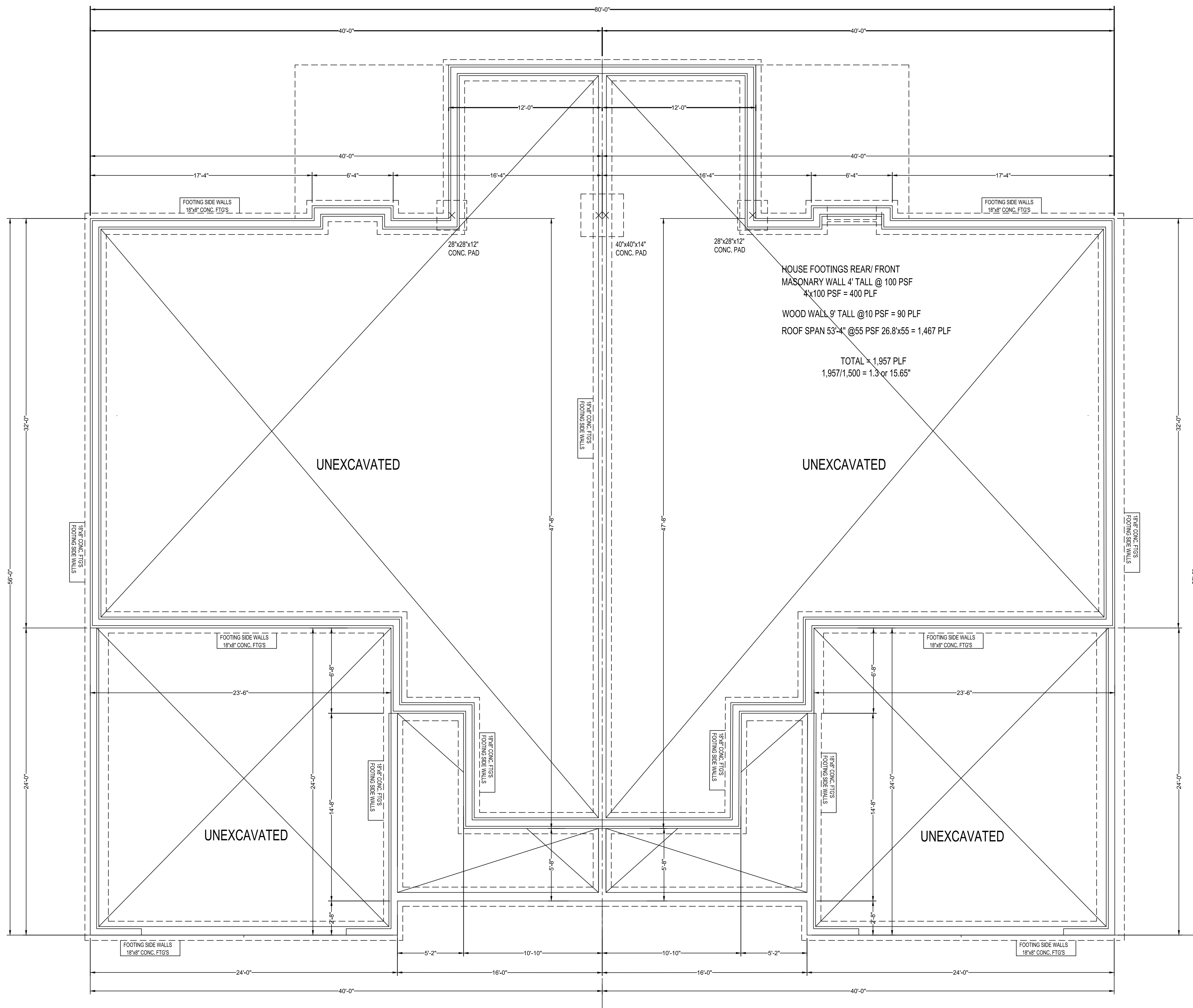
BUYER:	DATE:
BUYER:	DATE:
SALES REP.	DATE:

These plans have been reviewed and approved for construction as drawn. Additional changes will require a change order form.

BIGELOW HOMES
Tradition. Excellence.
4131 26th St. NW, Suite 2
Rochester, MN 55901 (507-529-1161)

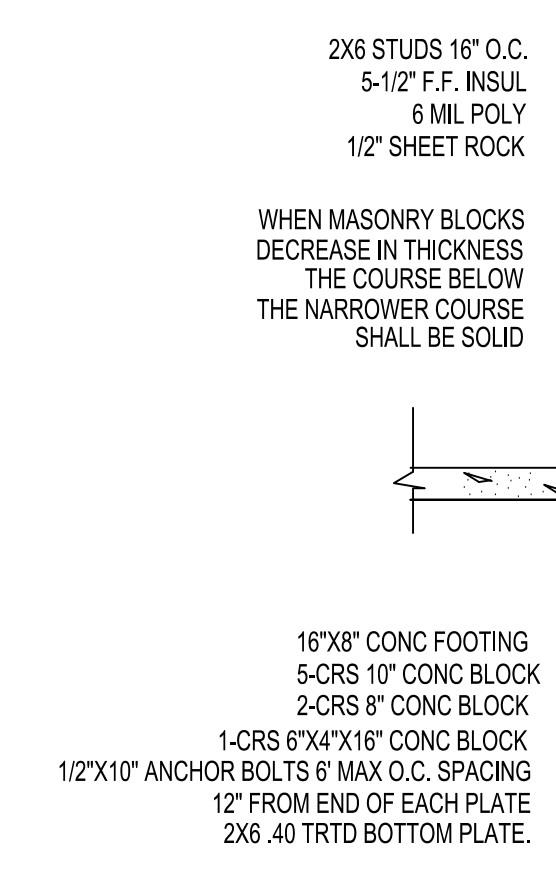
CONTRACTOR:
BIGELOW HOMES
OWNER: Dietz & Bigelow Voigt Model
Block 2 Lots 5&6

PLAN #	GV070
DATE:	06.20.25
Drawn By:	GFV
SHEET #	1 OF 4



LOWER FLOOR PLAN
SCALE 1/4"=1'-0"

PARTY WALL DETAIL
SCALE= 1/2"

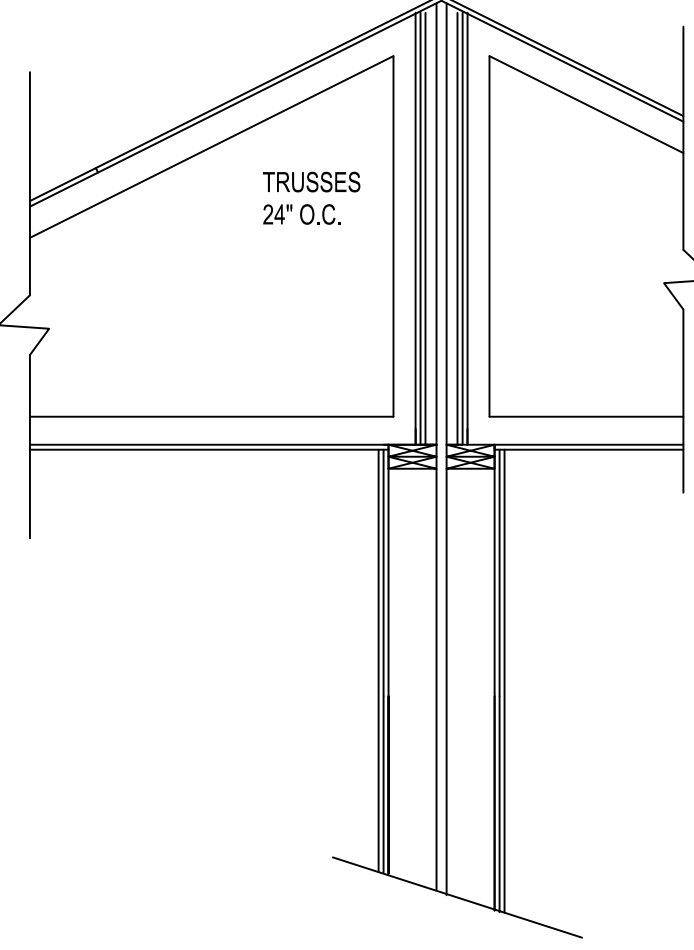


DIETZ - LOT 5, BLK. 5

MODEL - LOT 6, BLK. 5

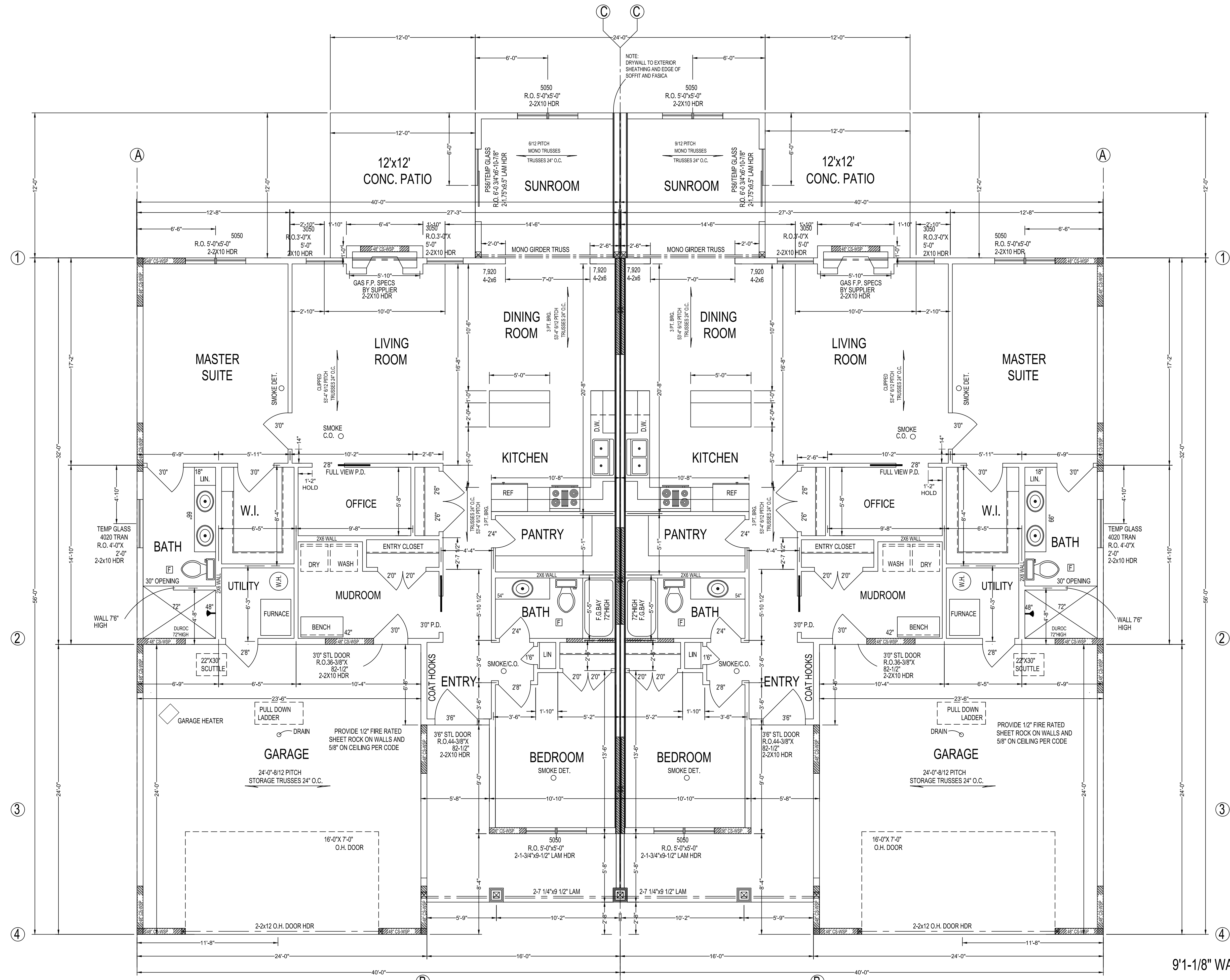
PLAN #	GV070	CONTRACTOR:	BIGELOW HOMES
DATE:	06.20.25	OWNER:	Dietz & Bigelow Voigt Model
Drawn By:	GFV		Block 2 Lots 5&6
SHEET #	2		4
BUYER:	DATE:	BUYER:	DATE:
BUYER:	DATE:	SALES REP.	DATE:
<p>These plans have been reviewed and approved for construction as Drawn. Additional changes will require a change order form.</p>			
<p>BIGELOW HOMES Tradition. Excellence. 4131 26th St. NW, Suite 2 Rochester, MN 55901 (507-529-1161)</p>			
<p>THESE PLANS ARE INTENDED BY BIGELOW ENTERPRISES INC. AS A GUIDE FOR BUILDERS WHO ARE KNOWLEDGEABLE ABOUT NORMAL CONSTRUCTION STANDARDS AND LOCAL CODES AND PRACTICES. BIGELOW ENTERPRISES INC. WILL REVISE ITS PLANS TO CORRECT ANY ERRORS OR OMISSIONS DISCOVERED AND REPORTED BY THE BUILDER BEFORE START OF HIS WORK, BUT ASSUMES NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR IMPROPER CONSTRUCTION THEREAFTER.</p>			

1 LAYER FIRE RESISTANT O.S.B.
FOR A DISTANCE OF 4' ON EACH SIDE OF WALL
NO PENETRATIONS WITHIN THE 4'



PARTY WALL DETAIL MONO TRUSS
SCALE 1/2"=1'-0"

GA File No. WP 3820
2 Hour fire, 55-59 STC Sound
Base layer 5/8" type X gypsum wallboard applied at right angles to each side of double row 2x4 wood studs 16" o.c. on separate plates min. 1" apart with 6d coated nails, 1 1/2" long, 0.085" shank, 2" heads, 24" o.c. Face Layer 5/8" type X gypsum wallboard applied at right angles to each side with 6d coated nails, 2 1/2" long, 0.100" shank, 2" heads, 8" o.c. Joints staggered each layer and side. Sound tested with 3 1/2" glass fiber insulation in stud spaces on one side and with nails for base layer spaced 6" o.c.



DIETZ - LOT 5, BLK. 5
1,638.00 SQ. FT.

MODEL - LOT 6, BLK. 5
1,638.00 SQ. FT.

9'1-1/8" WALLS
MAIN FLOOR PLAN
SCALE 1/4"=1'-0"

CONTRACTOR: BIGELOW HOMES	BUYER:	DATE:	DATE:
OWNER: Dietz & Bigelow Voigt Model	BUYER:	DATE:	DATE:
SALES REP. Block 2 Lots 5&6	BUYER:	DATE:	DATE:
Drawn By: GFV	These plans have been reviewed and approved for construction as shown. Additional changes will require a change order form.		
SHEET # 3 OF 4	BIGELOW HOMES Tradition. Excellence. 4131 26th St. NW Suite 2 Rochester, MN 55901 (507-529-1161)		

NO PLUMBING OR MECHANICAL EQUIPMENT IN PARTY WALL.

DISRIPTION: MAIN FLOOR

BRACED PANEL LENGTH TABLE BASED ON WIND SPEED (<115mph)									
* ADJUSTMENT CALCULATION EXAMPLE									
BRACED WALL LINE	BRACING METHOD TABLE R602.10.4.1	BRACED WALL LINE SPACING	REQUIRED BRACING LENGTH (FEET)	EXPOSURE FACTOR CONDITION	ROOF TO EAVE TOTAL	WALL HEIGHT TOTAL	NUMBER BRACED WALL LINES	REQUIRED BRACING LENGTH (FEET)	PROVIDED BRACING LENGTH
1	CS-WSP	30 FT	4.5'	1.0	1.2	0.95	1.45	7.4'	23.0'
2	CS-WSP	30 FT	4.5'	1.0	0.7	1.00	1.45	4.6'	24.0'
3	CS-WSP	14 FT	2.6'	1.0	1.2	0.95	1.45	4.3'	06.0'
4	CS-WSP	10 FT	2.0'	1.0	0.7	1.00	1.45	2.1'	16.0'
A	CS-WSP	40 FT	6.0'	1.0	0.7	1.00	1.60	6.7'	16.0'
B	CS-WSP	24 FT	3.9'	1.0	0.7	1.00	1.60	4.4'	08.0'
C	GB	40 FT	12.5'	1.0	1.2	0.95	1.60	22.8'	24.0'
D	CS-WSP	24 FT	3.9'	1.0	0.7	1.00	1.60	4.4'	08.0'
E	CS-WSP	40 FT	6.0'	1.0	0.7	1.00	1.60	6.7'	16.0'

PASSIVE RADON SYSTEM
A MINIMUM 3" DIAMETER PIPE WILL BE INSTALLED THAT ATTACHES TO A "T" FITTING ON THE INSIDE DRAIN TILE AND RUN UP THROUGH THE BUILDING FLOORS AND TERMINATE AT LEAST 12" ABOVE THE SURFACE OF THE ROOF IN A LOCATION AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT, AND 10' FROM ANY WINDOW OR OTHER OPENING IN ADJACENT BUILDINGS. THE PIPE WILL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS RETARDER. RADON VENT PIPES SHALL PROVIDE ENOUGH SPACE AROUND THE PIPE FOR FUTURE INSTALLATION OF A FAN SYSTEM. THE SPACE PROVIDED FOR THE INSTALLATION OF A FUTURE FAN SHALL BE MINIMUM OF 24" IN DIAMETER, CENTERED ON THE AXIS OF THE VENT SHAFT, AND SHALL EXTEND FOR A MINIMUM VERTICAL DISTANCE OF 36". AN APPROVED ELECTRICAL OUTLET SHALL BE INSTALLED NEAR THIS SPACE. ALL RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ "RADON REDUCTION SYSTEM". RADON PIPES ROUTED THROUGH UNCONDITIONED SPACE SHALL BE INSULATED WITH R-4 INSUL.

GENERAL NOTES:
FOOTINGS- MIN 5000 P.S.I.
PLAIN CONCRETE- 2000 P.S.I.
FOOTINGS TO BEAR ON ORIGINAL SOIL.
WOOD FRAMING 2X4, 2X6 STD #2 GRADE OR BETTER
PROVIDE SOLID BLOCKING AT FLOOR, JISTS
BEARING POINTS. INTERIOR BEARING WALLS AND
CANTILEVERED FLOOR JOISTS AS REQUIRED.
PROVIDE RIGID AIR BARRIER AT ALL PLUMBING AND
MECHANICAL HEAT DUCT PENETRATIONS OF
EXTERIOR WALLS, CEILINGS, AND FLOORS.
PROVIDE A M.R. AIR BARRIER AT THE INSIDE
SURFACE OF EXTERIOR ENVELOPE BEHIND
TUB AND SHOWER UNITS.
ALL PENETRATIONS INSTALLED
THROUGH THE INTERIOR AIR BARRIER
MUST BE SEALED PRIOR TO THE FRAMING
INSPECTION

FIRE PROTECTION OF FLOORS
FLOOR ASSEMBLIES OF I-JOISTS OR FLOOR TRUSSES SHALL BE PROTECTED WITH A 1/2" GYPSUM WALLBOARD MEMBRANE ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER
PROVIDE FIRE BLOCKING ALONG PERIMETER OF UNPROTECTED FLOOR FRAMING UP TO TOTAL AREA OF 80 SQ. FT.

INSULATION:
CEILING: BLOWN FIBERGLASS R-49
ABOVE GRADE WALLS: FIBERGLASS BATTS R-20
RIM JOIST: CLOSED CELL SPRAY FOAM R-20
FOUNDATION: 2" RIDGID FOAM R-10

BACKFILL
4" DRAIN TILE AROUND PERIMETER OF FOUNDATION ATTACHED TO A SEALED SUMP BASKET AND DISCHARGED TO DAYLIGHT.
GRAVEL OR CRUSHED STONE SHALL EXTEND 1' BEYOND OUTSIDE EDGE OF FOOTING AND 6" ABOVE THE TOP OF THE FOOTING AND COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL

SUBSLAB
6 MILL SOIL-GAS-RETARDER
ALL JOINTS LAPPED MINIMUM 12"
ALL PENETRATIONS THROUGH SLAB AND SLAB EDGES SEALED
4" LAYER OF CLEAN AGGREGATE BELOW SLAB THAT WILL PASS THROUGH A 2" SIEVE AND BE RETAINED BY 1/4" SIEVE MATERIAL

HEATING SYSTEM WILL BE A GAS FURNACE WITH 92% AFUE

ANDERSEN WINDOW U-VALUES
CASEMENT 0.28
AWNING 0.28
DOUBLE HUNG 0.30
GLIDING 0.30
PATIO DOOR 0.29

FOUNDATION DRAINAGE WILL BE DISCHARGED BY A SUMP PUMP INSTALLED IN THE SUMP BASKET

DESIGN LOADS:
90 MPH WIND LOAD
FLOOR: 40b LL/10b DL/50b TOTAL
ROOF: 35b LL/17b DL/52b TOTAL

VENTILATION:
HRV SHALL BE INSTALLED TO MEET THE REQUIREMENT OF A BALANCED VENTILATION SYSTEM

WINDOW FALL PROTECTION:
WHERE THE LOWEST PART OF AN OPENING OF AN OPERABLE WINDOW IS MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW AND IS LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR WINDOW OPENING CONTROL DEVICES (THAT MEET ASTM 2090) WILL BE INSTALLED.

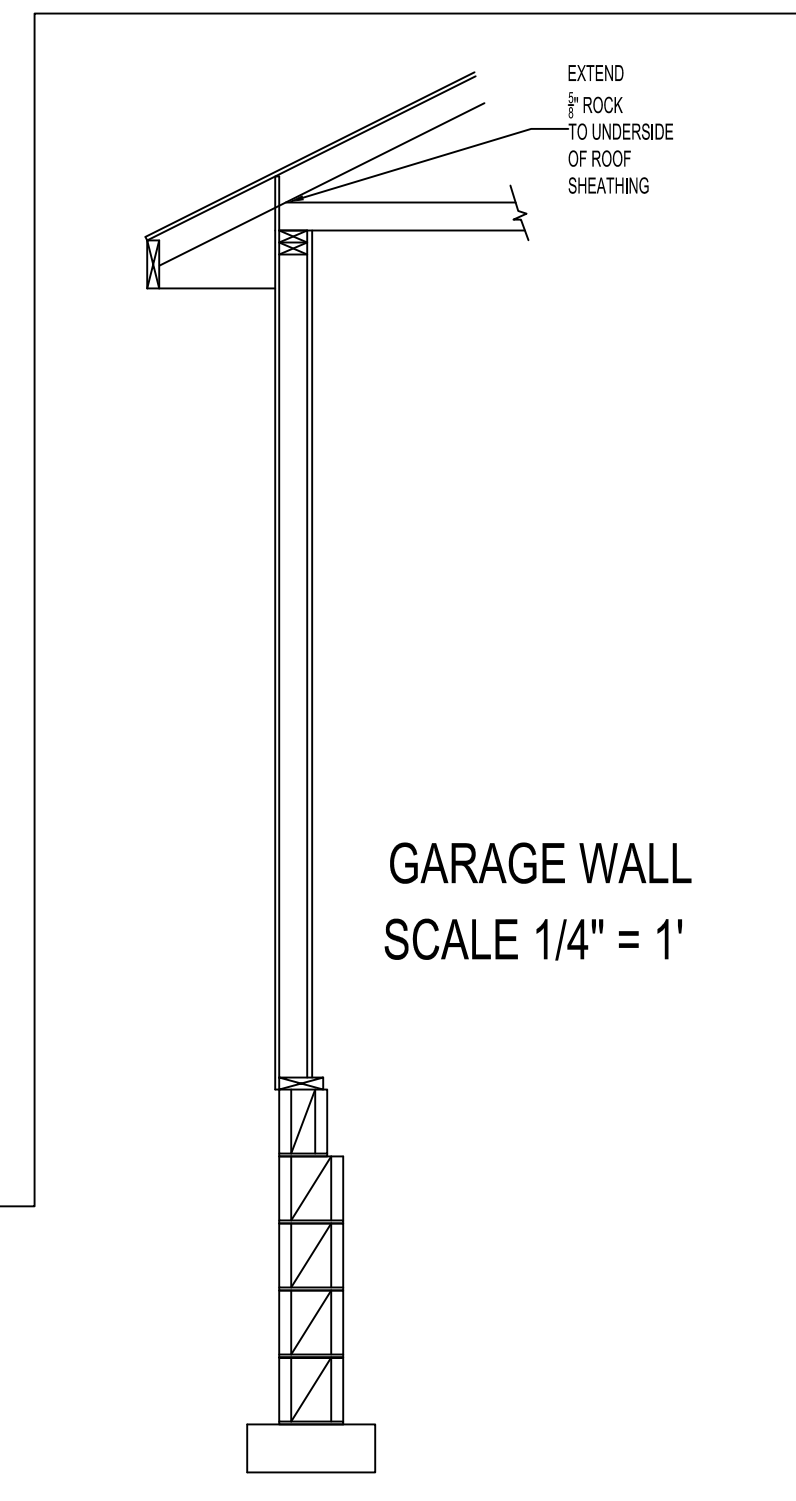
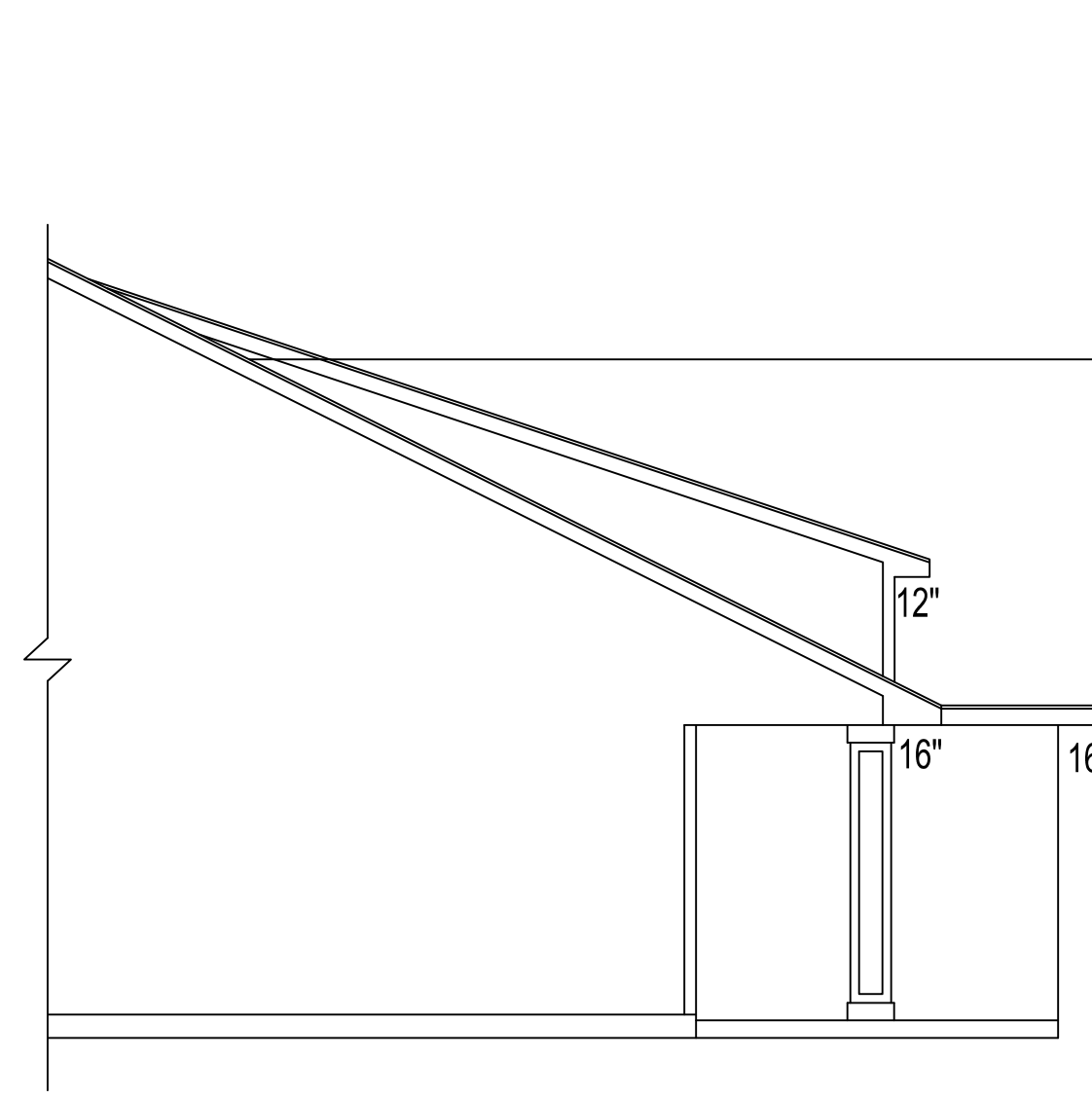
INSULATION:
CEILING: BLOWN FIBERGLASS R-49
ABOVE GRADE WALLS: FIBERGLASS BATTS R-20
RIM JOIST: CLOSED CELL SPRAY FOAM R-20
FOUNDATION: 2" RIDGID FOAM R-10

ROOF SYSTEM:
TRUSSES 24" O.C. SPECS BY MFG.
1/2" OSB ROOF SHEATHING P.1.1 32/16
1 LAYER ICE AND WATER BARRIER FROM EAVES TO A POINT 24" INSIDE EXTERIOR WALL.
1 LAYER FELT ON REMAINDER.
30 YEAR ASPHALT SHINGLES.
PROVIDE STEEL SUPPLEMENTAL UPLIFT BRACKETS FOR TRUSSES 26'-0" OR GREATER
MINIMUM R-49 BLOWN FIBERGLASS IN ATTIC

EXTERIOR WALL:
SIDING NOTED ON ELEVATIONS
HOUSE WRAP 7/16" OSB WALL SHEATHING
SHEATHING JOINTS WHICH ARE NOT SUPPORTED BY FRAMING MEMBERS MUST BE CAULKED
2X6 STUDS 16" O.C.
5-1/2" F.F. INSULATION (R-20)
4 MIL POLY
TAPED AT JOINTS AND PENETRATIONS
1/2" SHEET ROCK

EAVE SYSTEM:
2X6 SUBFASCIA
ALUMINUM FASCIA
ALUMINUM SOFFIT W/ICANT VENT AIR CHUTES 48" O.C.
PROVIDE WIND WASH BARRIER AT EXTERIOR EDGE OF ATTIC INSULATION. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND SHEATHING

STAIR SYSTEM:
3-2X12 TIMBERSTRAND LSL STRINGERS
1X8 PINE RISERS
5/4X 10" PARTIAL BOARD TREADS OR 2X10 HEM FIR
SECURED TO STRINGERS W/14-16d CC NAILS PER STRINGER
PROVIDE HANDRAIL W/4 3/8" HIGH 36" HIGH GUARDRAIL W/4 3/8" HIGH
7 3/4" MAX RISE, 10" MIN RUN
NOSING OF NOT LESS THAN 3/4" OR MORE THAN 1 1/4"
5/8" SHEET ROCK WALLS AND SOFFIT OF ENCLOSED AND UNUSABLE UNDERSTAIRS.
6-8" MIN HEADROOM:
PROVIDE HANDRAIL AT A HEIGHT OF 34" - 38" HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH AND RETURN TO THE WALL AT TOP AND BOTTOM STAIR NOSING

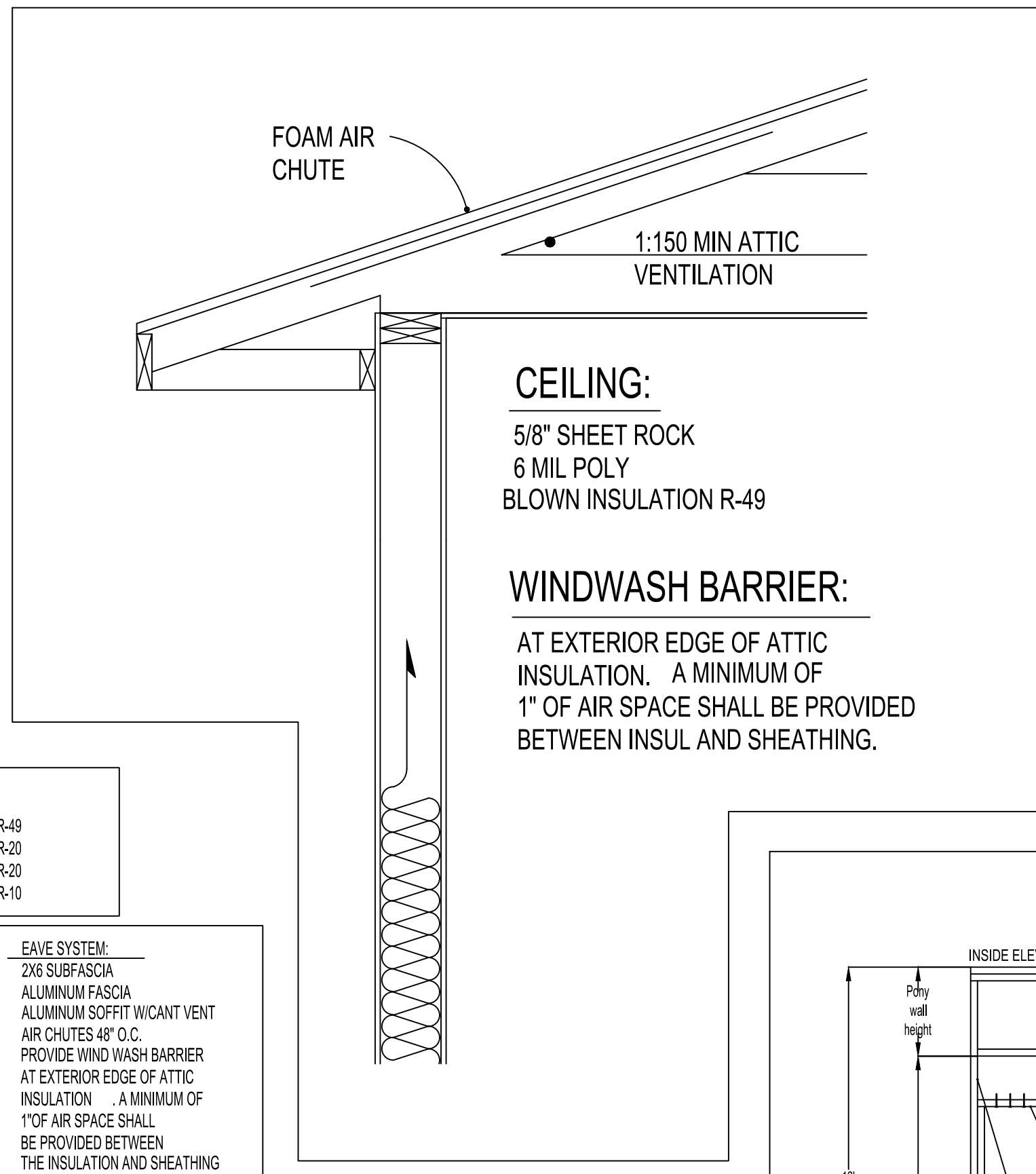


1 HOUR FIRE
GA FILE NO. WP 3614
One layer 1/2" type X gypsum wallboard applied parallel or at right angles to each side of 2x4 wood studs 16" o.c. with 1 1/2" Type W drywall screws 12" o.c.
Joints staggered 16" on opposite sides. (load bearing)

GARAGE FOUNDATION:
CONC FOOTING
4-CRS FULL 6" CONC BLOCK
1-CRS 6"X8"X16" CONC BLOCK
2X6 TRTD SKILL PLATE
6" SILL SEAL
1/2" X 10" ANCHOR BOLTS SPACED 72" O.C. WITH MIN 7" EMBEDMENT

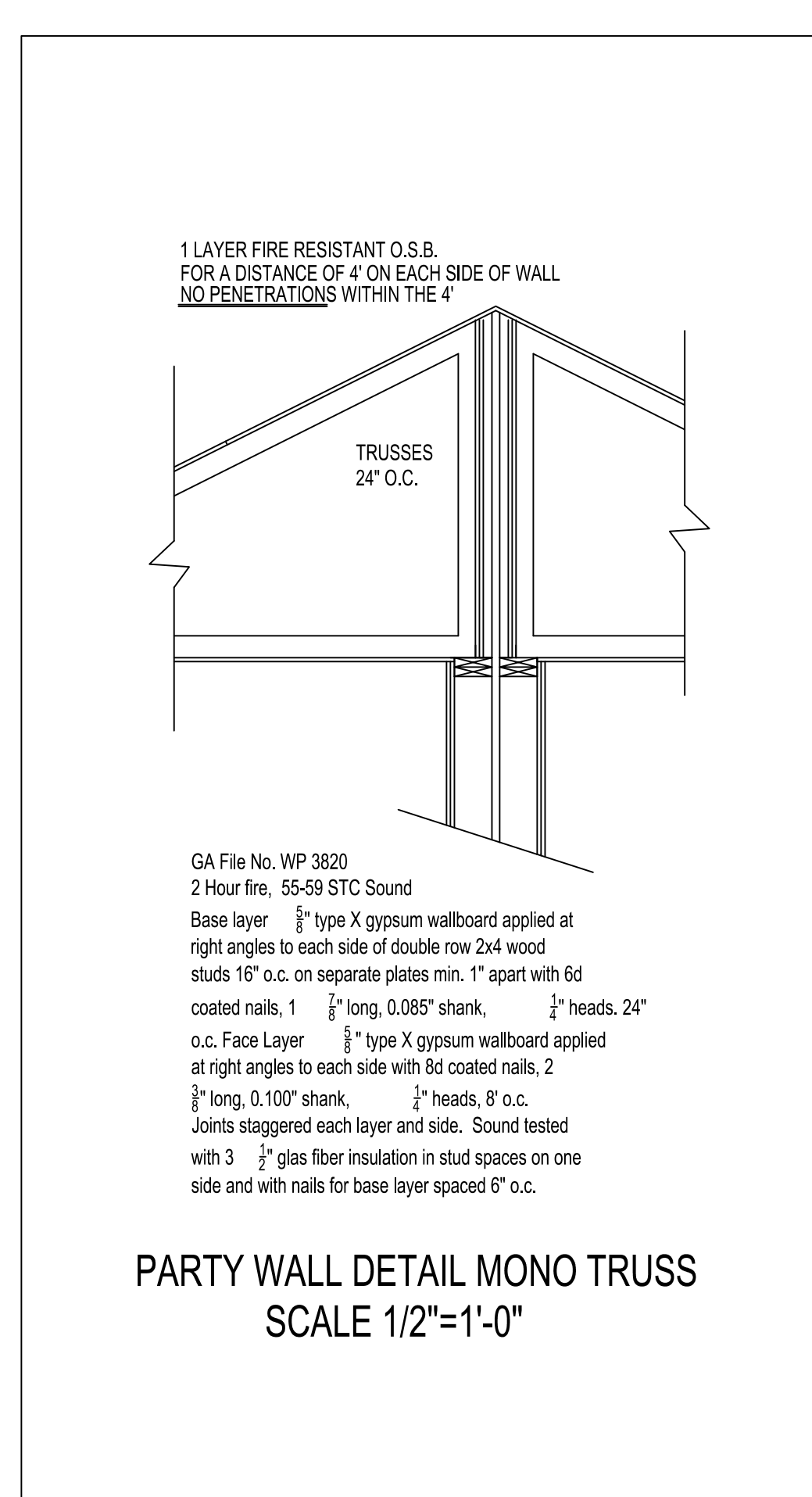
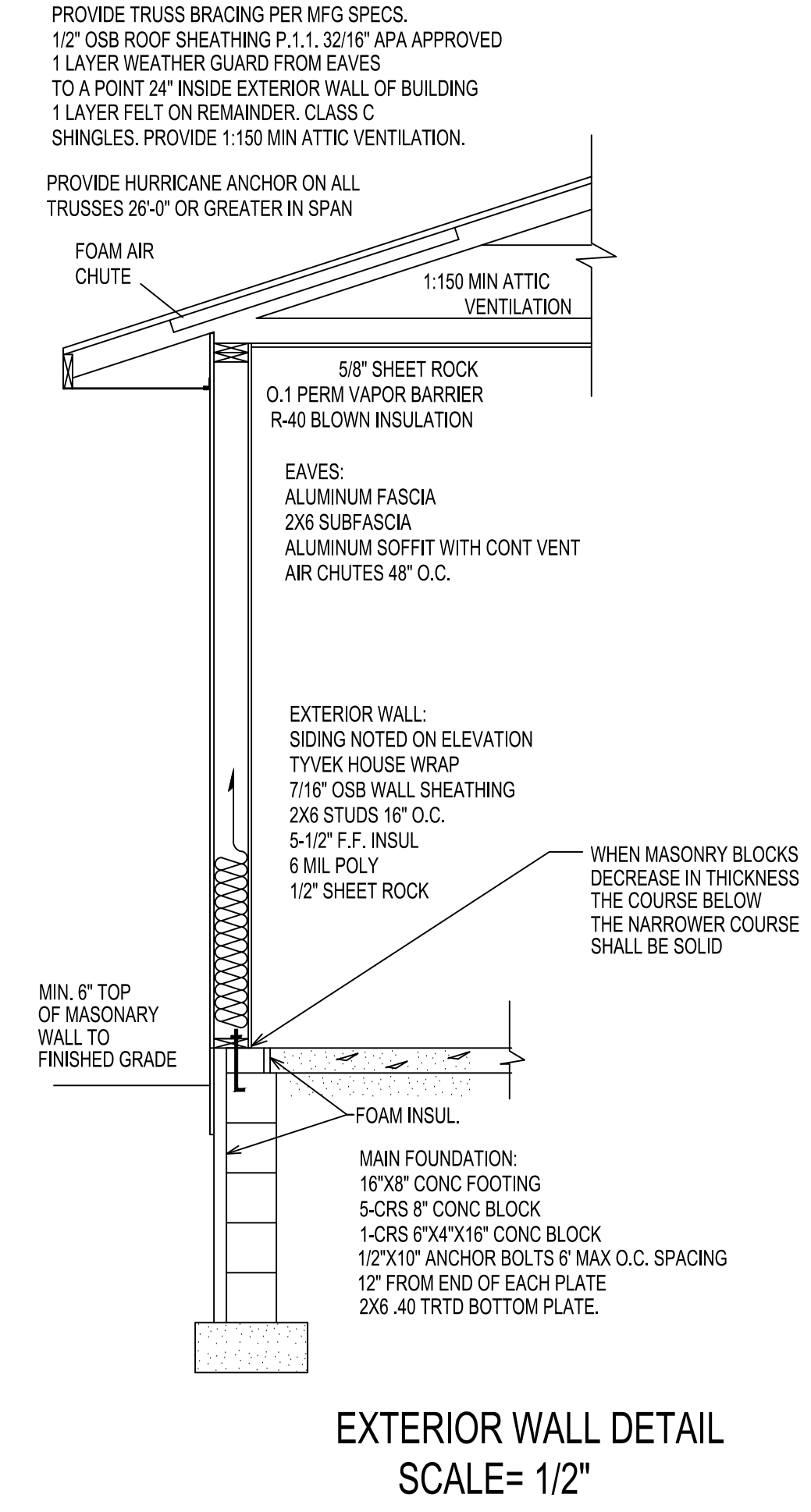
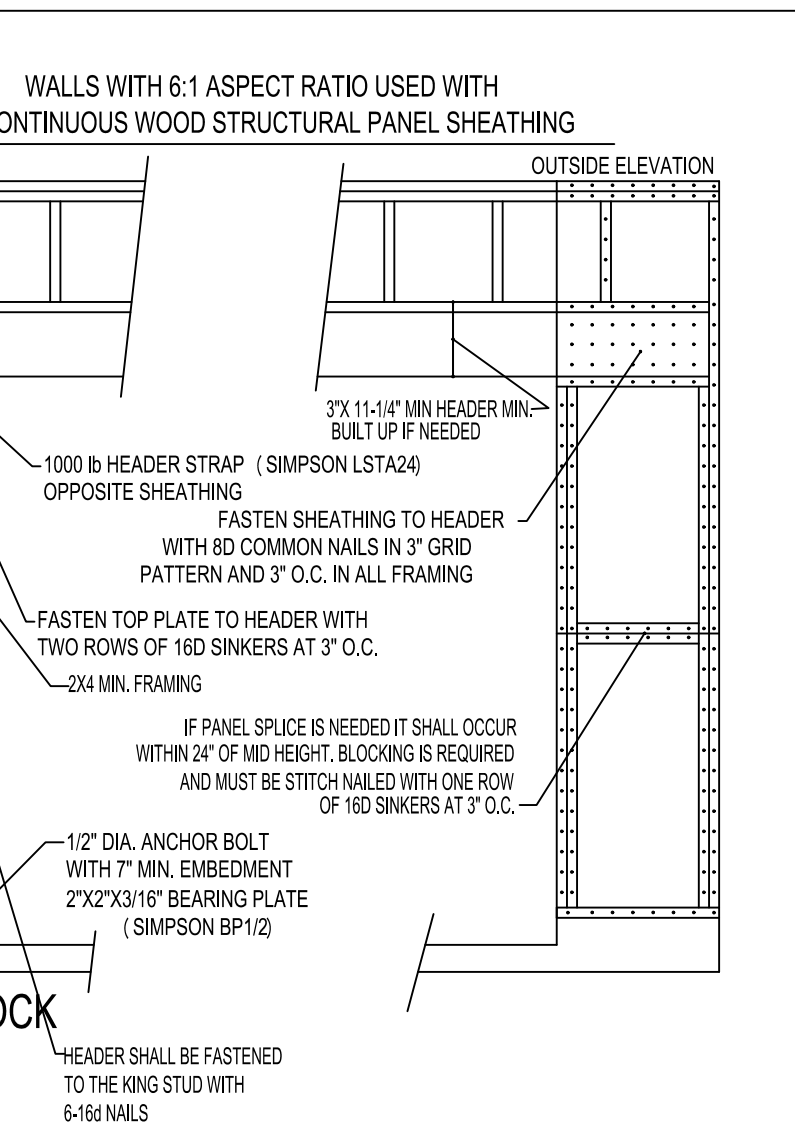
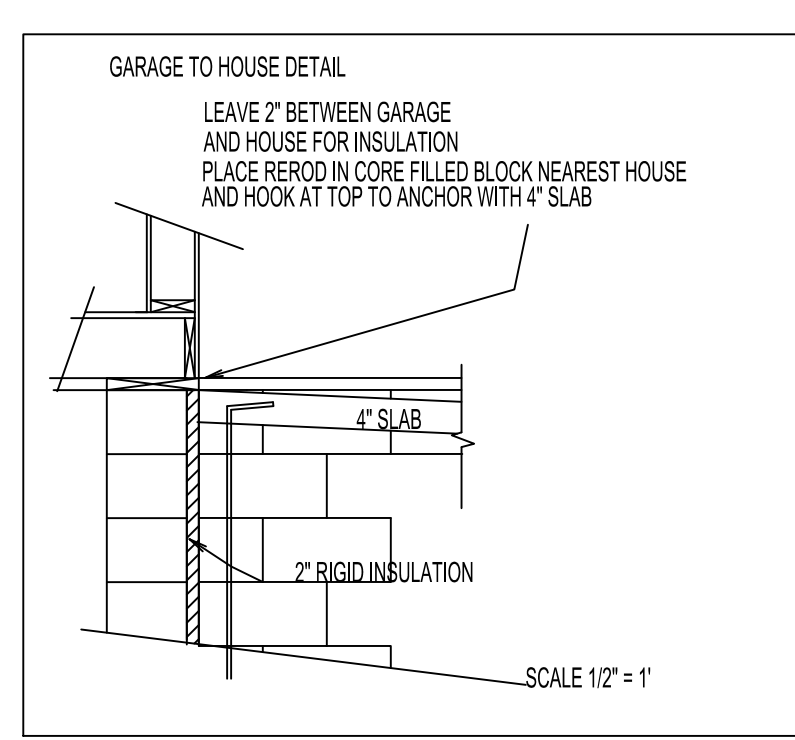
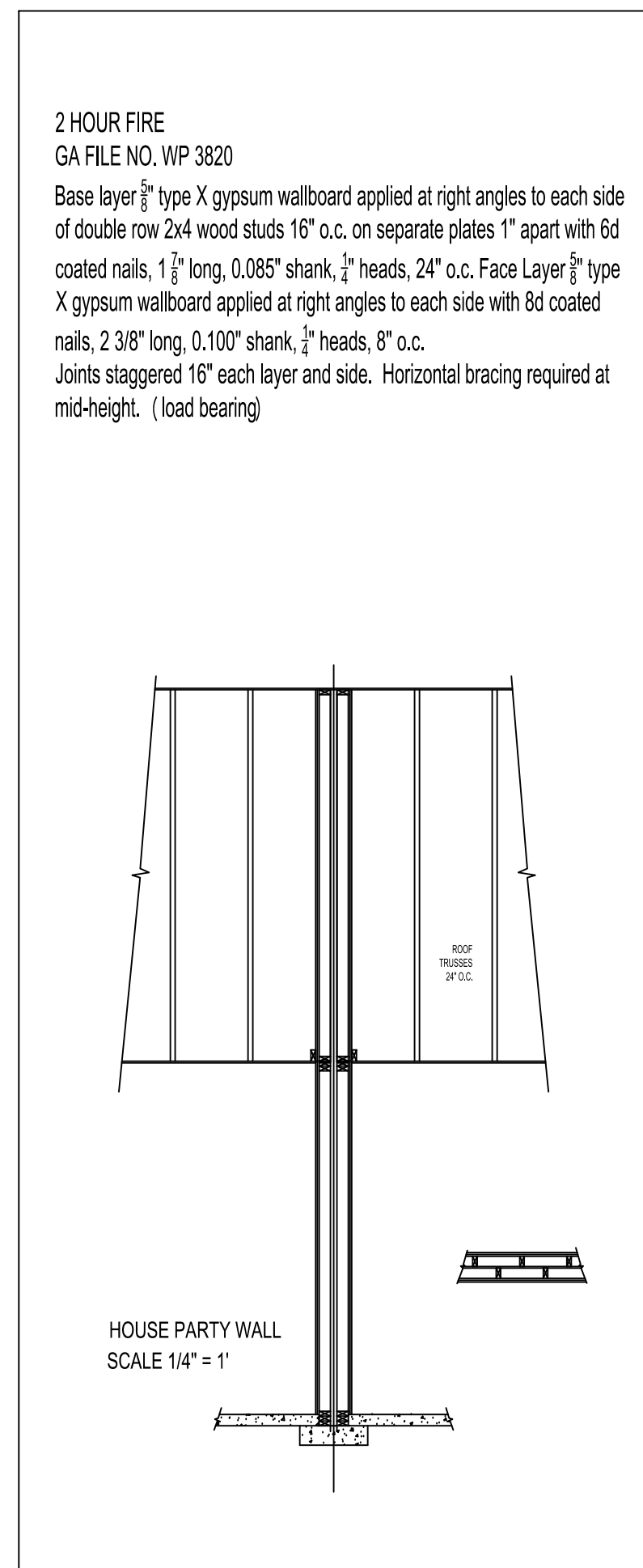
GARAGE WALL
SIDING NOTED ON ELEVATIONS
HOUSE WRAP 7/16" OSB WALL SHEATHING 2X4 STUDS 16" O.C.
WHEN MASONRY BLOCK DECREASES IN THICKNESS THE COURSE BELOW THE NARROWER COURSE SHALL BE SOLID

MAIN FOUNDATION:
16"X8" CONC FOOTING
4-CRS 6" CONC BLOCK
1-CRS 6" CONC BLOCK
1/2"X10" ANCHOR BOLTS 6" MAX O.C. SPACING
12" FROM END OF EACH PLATE
2X6 40 TRTD BOTTOM PLATE.
CLOSED CELL SILL SEAL



CEILING:
5/8" SHEET ROCK
6 MIL POLY BLOWN INSULATION R-49

WINDWASH BARRIER:
AT EXTERIOR EDGE OF ATTIC INSULATION. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN INSUL AND SHEATHING.



THESE PLANS ARE INTENDED BY BIGELOW ENTERPRISES INC. AS A GUIDE FOR BUILDERS WHO ARE KNOWLEDGEABLE ABOUT NORMAL CONSTRUCTION STANDARDS AND LOCAL CODES AND PRACTICES. BIGELOW ENTERPRISES INC. WILL REVISIONS TO CORRECT ANY ERRORS OR OMISSIONS DISCOVERED AND REPORTED BY THE BUILDER BEFORE START OF HIS WORK, BUT ASSUMES NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR IMPROPER CONSTRUCTION THEREAFTER.

BUYER: DATE: SALES REP. DATE: SALES REP. DATE:

These plans have been reviewed and approved for construction as drawn. Additional changes will require a change order form.

BIGELOW HOMES
Tradition. Excellence.
4131 26th St. NW, Suite 2
Rochester, MN 55901 (507-529-1161)

BIGELOW HOMES
CONTRACTOR: **Dietz & Bigelow Voigt Model**
OWNER: **Block 2 Lots 5&6**

PLAN # **G070** DATE: **06.20.25**
Drawn By: **GFV** SHEET # **4** OF **4**