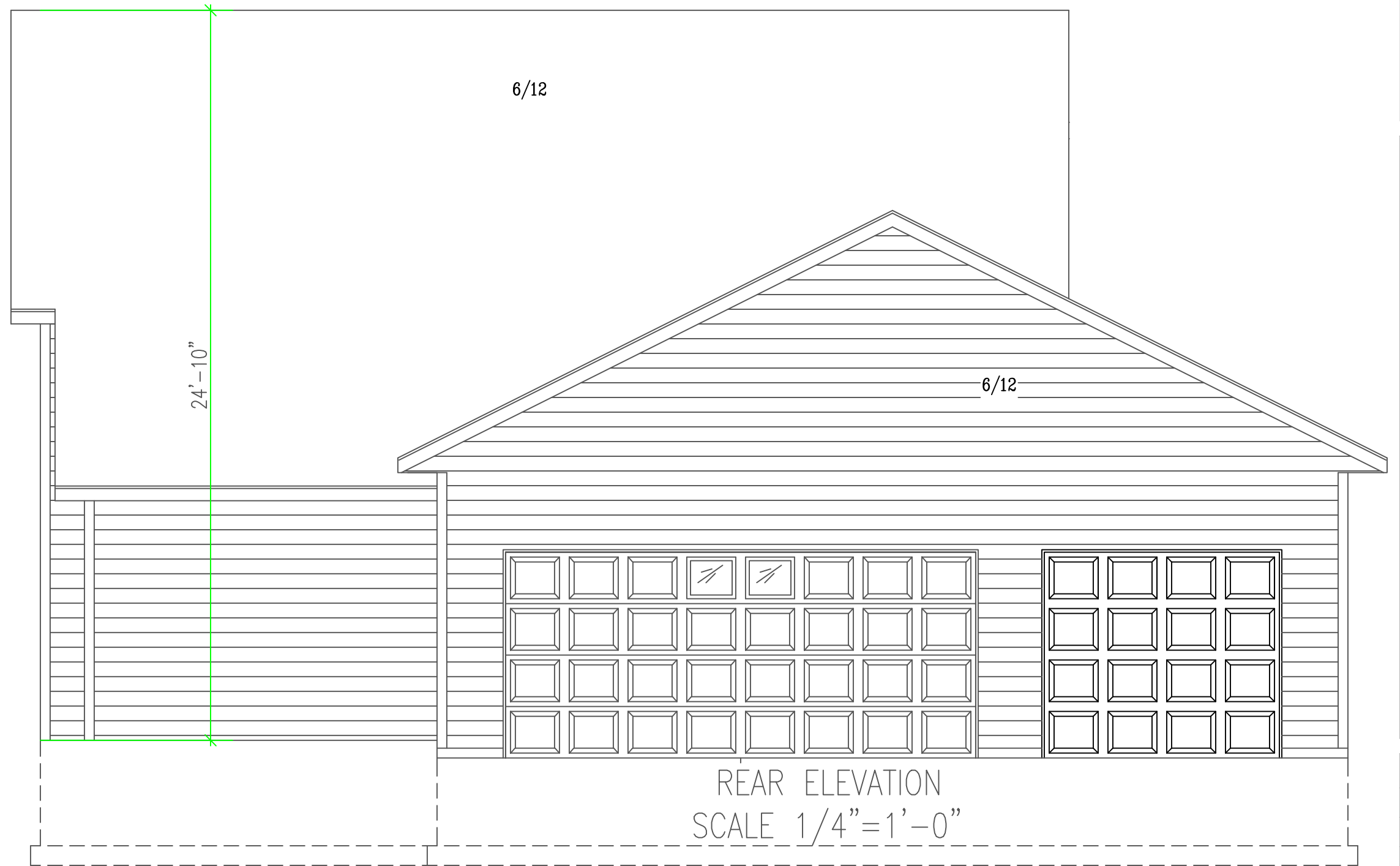
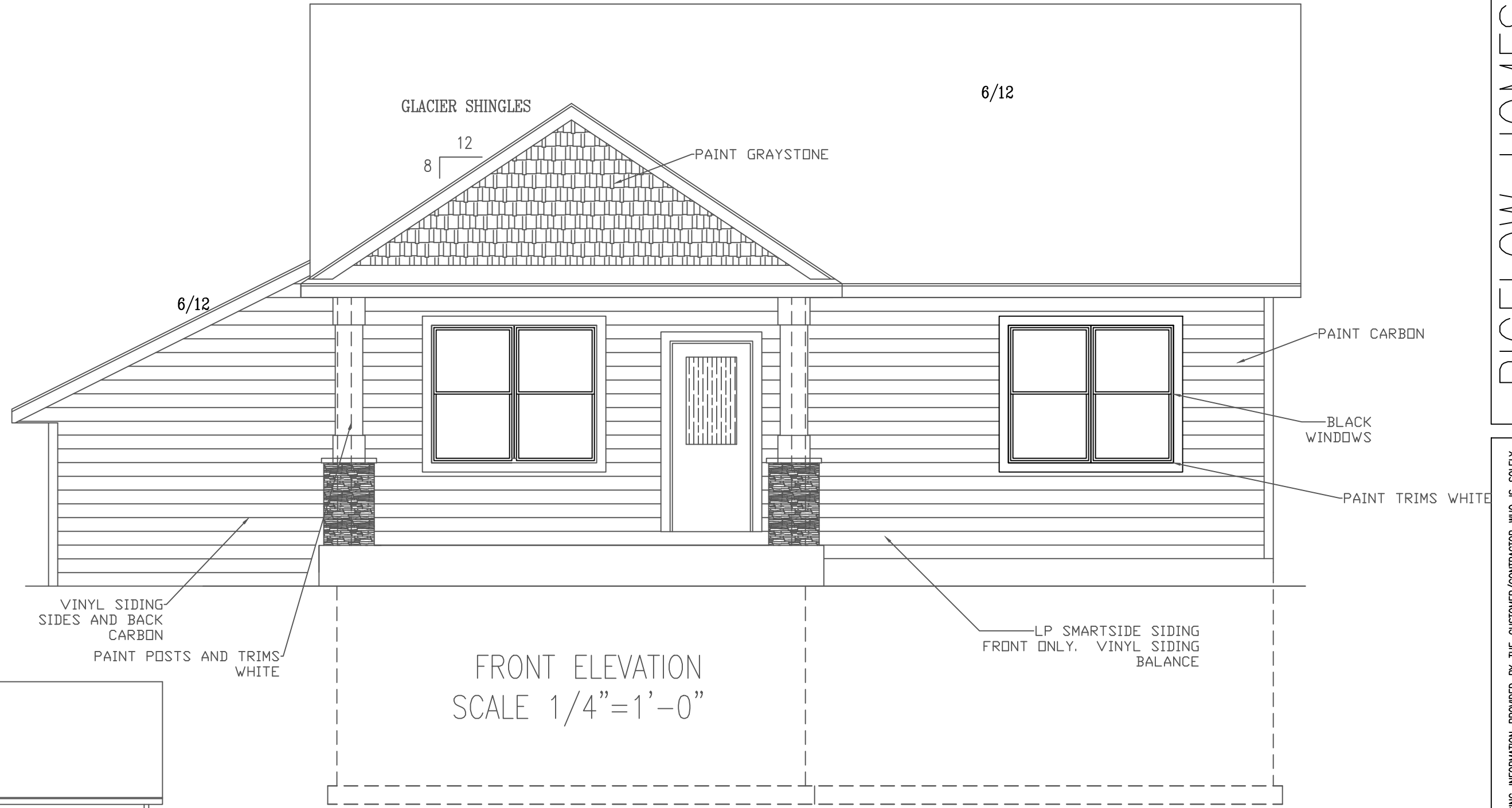
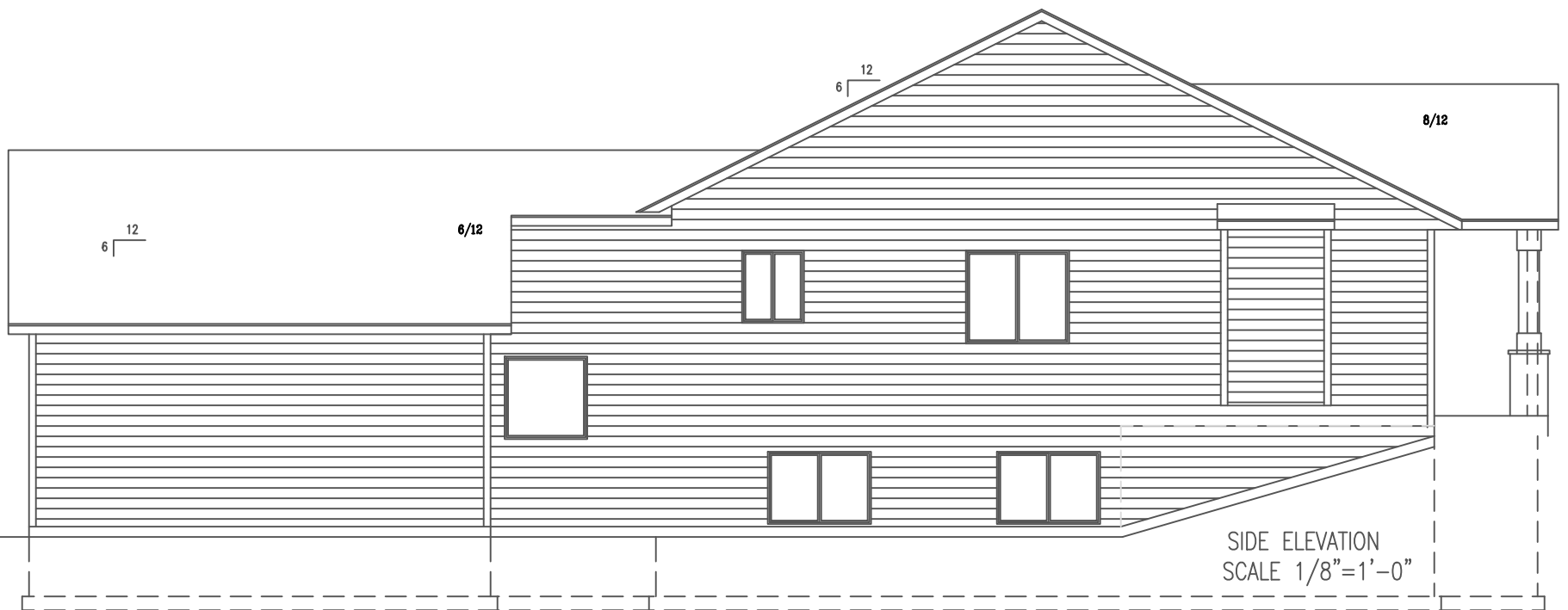


5305 EQUINOX PLACE NW  
LOT 9, BLOCK 8,  
HARVESTVIEW THIRD



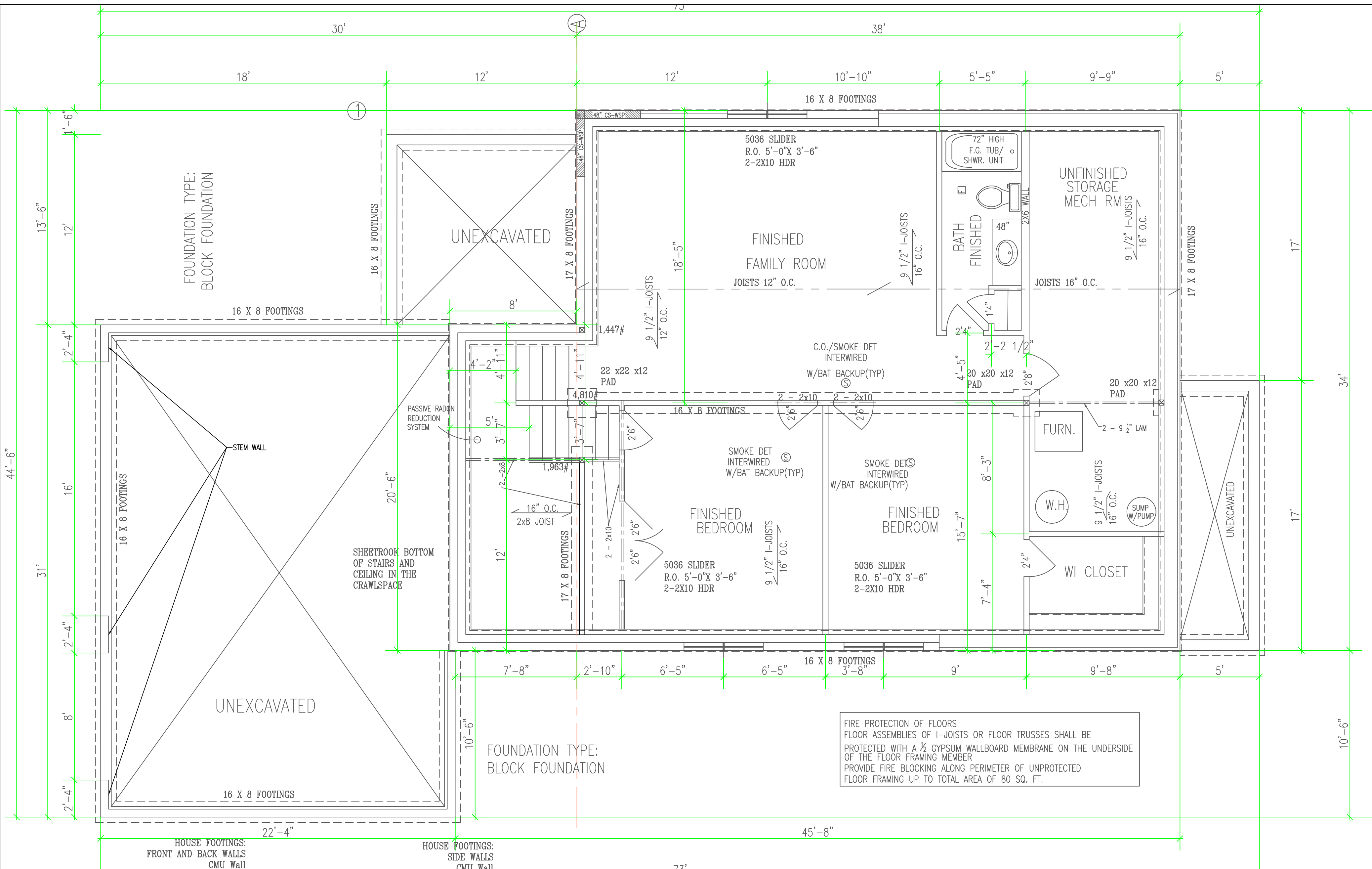
**BIGELOW HOMES**  
 4057 28TH STREET NW #100  
 BUILDER LICENSE # BC-431673

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ACKNOWLEDGED BY: \_\_\_\_\_ CUSTOMER/CONTRACTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR: **BIGELOW HOMES**  
 HARVEST VILLA MODEL 9-8  
 OWNER: \_\_\_\_\_

DRAWN BY: **MJP**  
 DATE: **3/30/26**  
 SQ. FT.: **1463.0**  
 SCALE: **NOTED**  
 SHEET: **A01**  
**BIGELOW HOMES**



FOUNDATION TYPE:  
BLOCK FOUNDATION

FOUNDATION TYPE:  
BLOCK FOUNDATION

FIRE PROTECTION OF FLOORS  
FLOOR ASSEMBLIES OF I-JOISTS OR FLOOR TRUSSES SHALL BE PROTECTED WITH A 1/2 GYPSUM WALLBOARD MEMBRANE ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER  
PROVIDE FIRE BLOCKING ALONG PERIMETER OF UNPROTECTED FLOOR FRAMING UP TO TOTAL AREA OF 80 SQ. FT.

HOUSE FOOTINGS:  
FRONT AND BACK WALLS  
CMU Wall  
Height 8.33'  
Weight 10" CMU corefilled  
@ 56" O.C. = 100# Sq. Ft.  
8.33' x 100# = 833#  
Floor  
Span 8"  
Live Load 40# Dead Load 15#  
.66' x 55# = 37#  
Wall  
Height 9' @ 10# per sq.ft.  
9' x 10# = 90#  
Roof  
Span 20.3'  
Live Load 35# Dead Load 20#  
20.3' x 55# = 1,118#  
Total load per lineal foot 2,078#  
Soil Bearing capacity 1500# per sq. ft.  
2,078 / 1500 = 1.4' or 17"

HOUSE FOOTINGS:  
SIDE WALLS  
CMU Wall  
Height 8.33'  
Weight 10" CMU corefilled  
@ 56" O.C. = 100# Sq. Ft.  
8.33' x 100# = 833#  
Floor  
Span 18.5"  
Live Load 40# Dead Load 15#  
9.25' x 55# = 509#  
Wall  
Height 9' @ 10# per sq.ft.  
9' x 10# = 90#  
Roof  
Span 2' 0"  
Live Load 35# Dead Load 20#  
2' x 55# = 110#  
Total load per lineal foot 1,542#  
Soil Bearing capacity 1500# per sq. ft.  
1,542/ 1500 = 1.03' or 13"

- ALL WALLS SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANELS
- CS-WSP ON PLANS INDICATE AREAS OF BRACED PANELS
- BRACED PANELS SHALL BE CONSTRUCTED WITH 16" O.C. STUDS. TOP PLATE FASTENED TO SOLID FRAMING WITH 8d NAILS 6" O.C. BOTTOM PLATES FASTENED TO SOLID FRAMING W/ 3-16d NAILS 16" O.C. 7/16" OSB SHEATHING (24/16 INDEX) FASTENED W/ 8d COMMON NAILS 6" O.C. ON EDGES AND 12" O.C. IN FIELD. SOLID BLOCKING BETWEEN TRUSSES WITH HEEL GREATER THAN 9-1/4" TO WITHIN 2" OF ROOF SHEATHING FASTENED WITH MIN 8d NAILS 6" O.C. ALONG LENGTH OF PANEL
- ANY OTHER TYPE OF BRACING METHOD SHALL BE INDICATED ON PLAN AND SEPARATE DETAIL WILL BE PROVIDED.

DISCRPTION: LOWER FLOOR

BRACED WALL LINE	BRACING METHOD TABLE R602.10.4.1	BRACED WALL LINE SPACING	REQUIRED BRACING LENGTH (FEET)	EXPOSURE FACTOR CONDITION	ROOF TO EAVE TOTAL	WALL HEIGHT TOTAL	ADJUSTMENT CALCULATION EXAMPLE		PROVIDED BRACING LENGTH
							REQUIRED BRACING LENGTH	REQUIRED BRACING LENGTH	
①	CS-WSP	13 FT.	4.4	1.0	1.0	.75	1.0	3.3'	4.0'
Ⓐ	CS-WSP	23 FT.	7.25	1.0	1.0	.75	1.0	5.5'	8.0'

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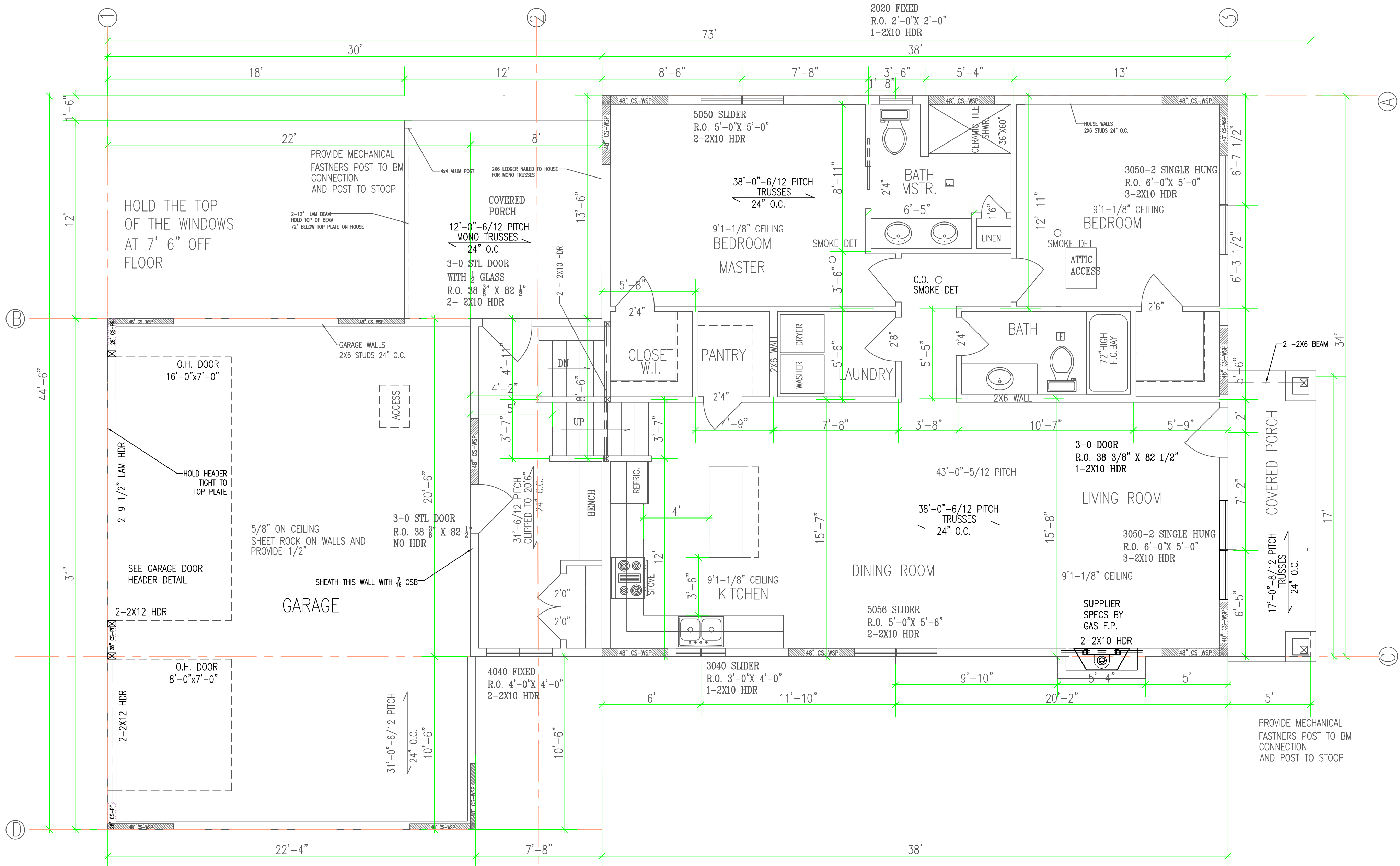
BIGELOW HOMES  
4057 28TH STREET NW #100  
BUILDER LICENSE # BC-431673

CONTRACTOR: BIGELOW HOMES  
HARVEST VILLA MODEL 9-8  
OWNER:

DATE: 3/30/26  
SQ. FT.: 1463.0  
SCALE: NOTED  
SHEET: A02  
BIGELOW HOMES

ACKNOWLEDGED BY: CUSTOMER/CONTRACTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

1,463.00 sq. ft.



2020 FIXED  
R.O. 2'-0" X 2'-0"  
1-2X10 HDR

**BIGELOW HOMES**  
4057 28TH STREET NW #100  
BUILDER LICENSE # BC-431673

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ACKNOWLEDGED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
CUSTOMER/CONTRACTOR SIGNATURE

CONTRACTOR: **BIGELOW HOMES**  
OWNER: **HARVEST VILLA MODEL 9-8**

DESCRIPTION: MAIN FLOOR

BRACED PANEL LENGTH TABLE BASED ON WIND SPEED (<115mph)		* ADJUSTMENT CALCULATION EXAMPLE							
BRACED WALL LINE	BRACING METHOD TABLE R602.10.4.1	BRACED WALL LINE SPACING	REQUIRED BRACING LENGTH (FEET)	EXPOSURE FACTOR CONDITION	ROOF TO EAVE TOTAL	WALL HEIGHT TOTAL	NUMBER BRACED WALL LINES	REQUIRED BRACING LENGTH (FEET)	PROVIDED BRACING LENGTH
①	CS-PF	27 FT.	4.2'	1.0	1.1	0.95	1.3	5.7'	10.5'
②	CS-WSP	42 FT.	6.3'	1.0	1.1	0.95	1.3	8.6'	12.0'
③	CS-WSP	42 FT.	6.3'	1.0	1.1	0.95	1.3	8.6'	11.0'
A	CS-WSP	34 FT.	5.1'	1.0	1.1	0.95	1.45	7.8'	12.0'
B	CS-WSP	31 FT.	4.7'	1.0	1.1	0.95	1.45	7.2'	8.0'
C	CS-WSP	34 FT.	5.1'	1.0	1.1	0.95	1.45	7.8'	12.0'
D	CS-WSP	31 FT.	4.7'	1.0	1.1	0.95	1.45	7.2'	8.0'

THIS HOME WILL BE BUILT USING ADVANCED WALL FRAMING. ALL EXTERIOR WALLS ON THE HOUSE WILL BE 2X6 24" O.C. WITH 2 STUD CORNERS.

DRAWN BY: **MJP**  
DATE: **3/30/26**  
SQ. FT.: **1463.0**  
SCALE: **NOTED**  
SHEET: **A03**  
**BIGELOW HOMES**

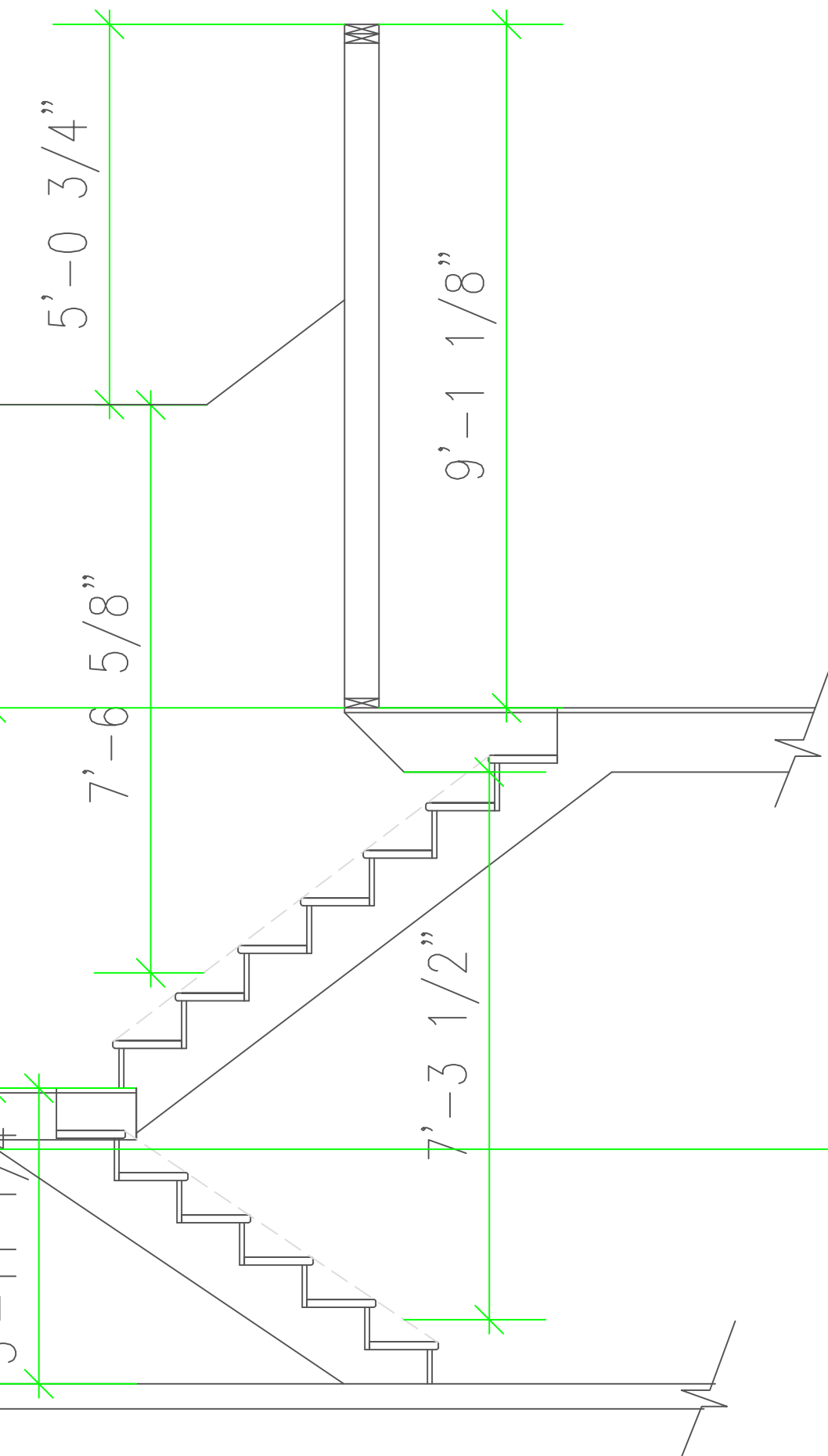
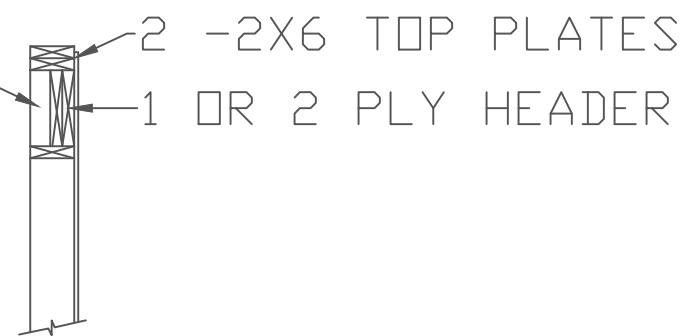
ALL HEADERS 96" OR LESS SHALL HAVE 1 FULL LENGTH STUD ON EACH END OF THE HEADER. ALL HEADERS SHALL HAVE 1 JACK STUD UNDER EACH END UNLESS NOTED OTHERWISE.

1/2" SHEETROCK

PROTECTION OF EVE WITHIN 5' OF THE PROPERTY LINE

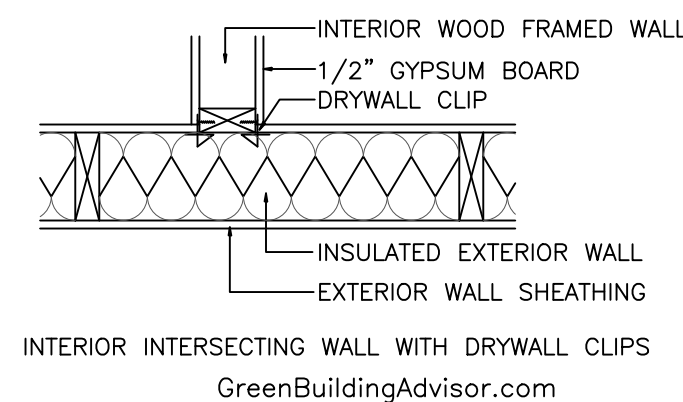
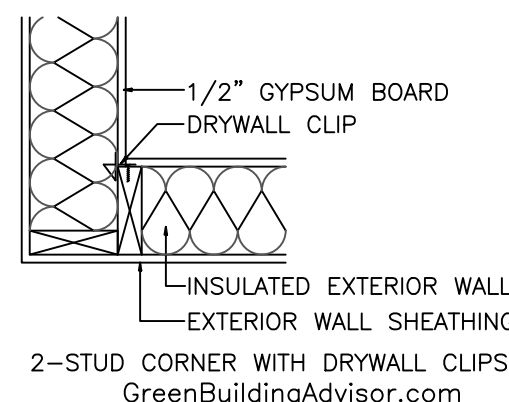
INSTALL 1/2" SHEETROCK FROM TOP PLATE TO ROOF SHEATHING.

INSULATE VOID ON THE INSIDE OF THE HEADER TO A MINIMUM OF R-5



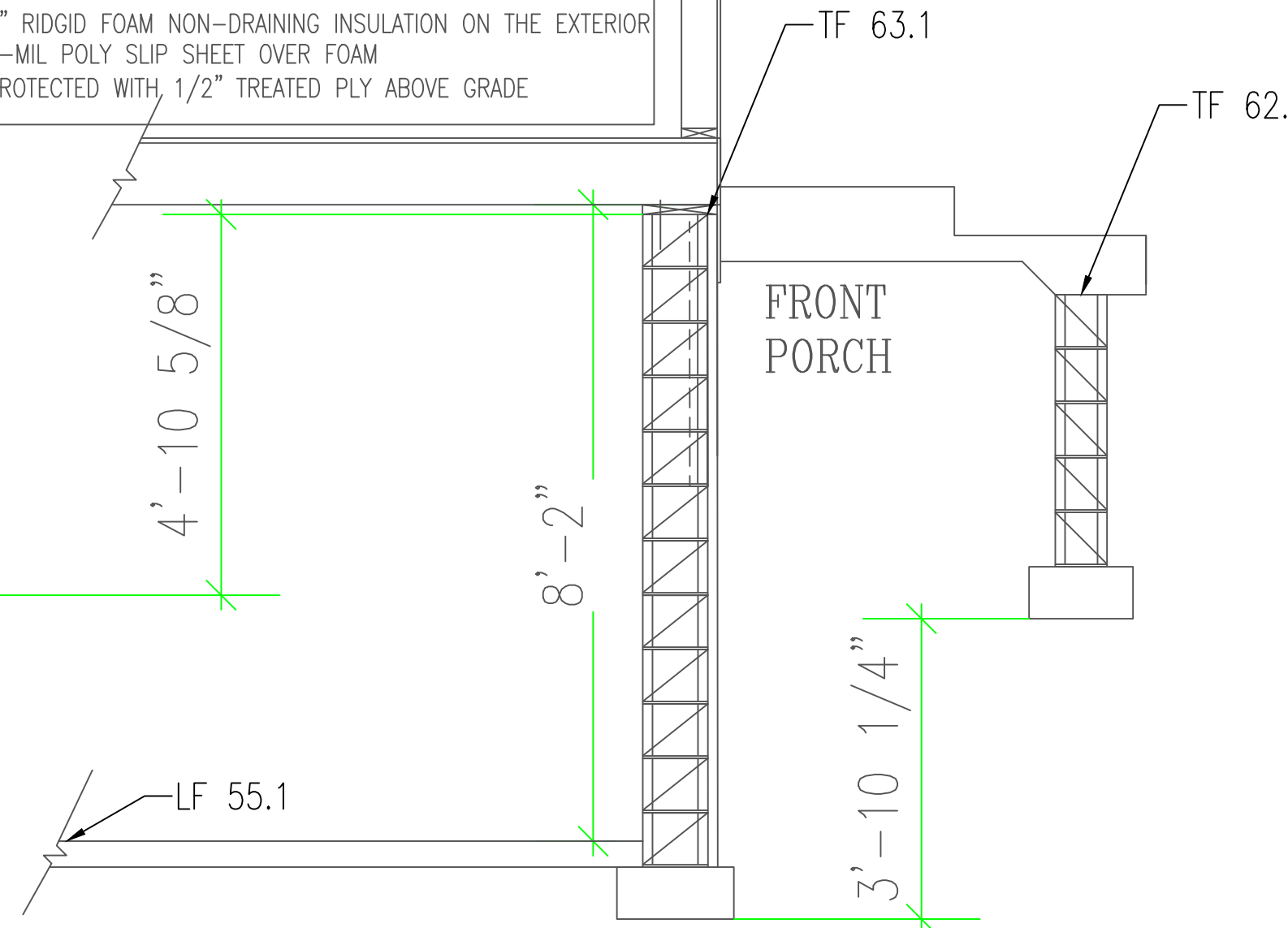
WHEN MASONRY BLOCKS DECREASE IN THICKNESS THE COURSE BELOW THE NARROWER COURSE SHALL BE SOLID

GARAGE FOYER SIDECUT



BLOCK FOUNDATION INSULATION  
CONTINUOUS 2" RIGID FOAM (R-10)  
TESTED AIR LEAKAGE RATE WILL NOT EXCEED 2.6 ACH50.  
TOTAL SQ.FT. FOUNDATION ABOVE FINISHED GRADE WILL NOT EXCEED LFT OF FOUNDATION WALL MULTIPLIED BY 1.5.

MAIN FOUNDATION  
CONT FOOTING (SIZE ON PLANS)  
12-CRS 10" WIDE  
FULL 8" HIGH CONC BLOCK (100.5" TOTAL HEIGHT)  
#6 REROD 56" O.C. VERTICAL  
REROD PLACEMENT FROM SOIL SIDE 6 3/4"  
MIN 40 BAR DIA. LAP ALL VERTICAL RERODS  
1/2" X 10" ANCHOR BOLTS 48" O.C. PER ENGINEERING  
BAM 2024 FOUNDATION GUIDE  
WITH MIN 7" EMBEDMENT  
2X10 TREATED SILL PLATE  
EXTERIOR WATERPROOFED FROM FOOTING TO TOP OF WALL  
2" RIDGID FOAM NON-DRAINING INSULATION ON THE EXTERIOR  
6-MIL POLY SLIP SHEET OVER FOAM  
PROTECTED WITH 1/2" TREATED PLY ABOVE GRADE



SCALE 1/2"=1'-0"

SUBSLAB  
6 MILL SOIL-GAS-RETARDER  
ALL JOINTS LAPPED MINIMUM 12"  
ALL PENETRATIONS THROUGH SLAB AND SLAB EDGES SEALED  
4" LAYER OF CLEAN AGGREGATE BELOW SLAB THAT WILL PASS THROUGH A 2" SIEVE AND BE RETAINED BY 1/4" SIEVE

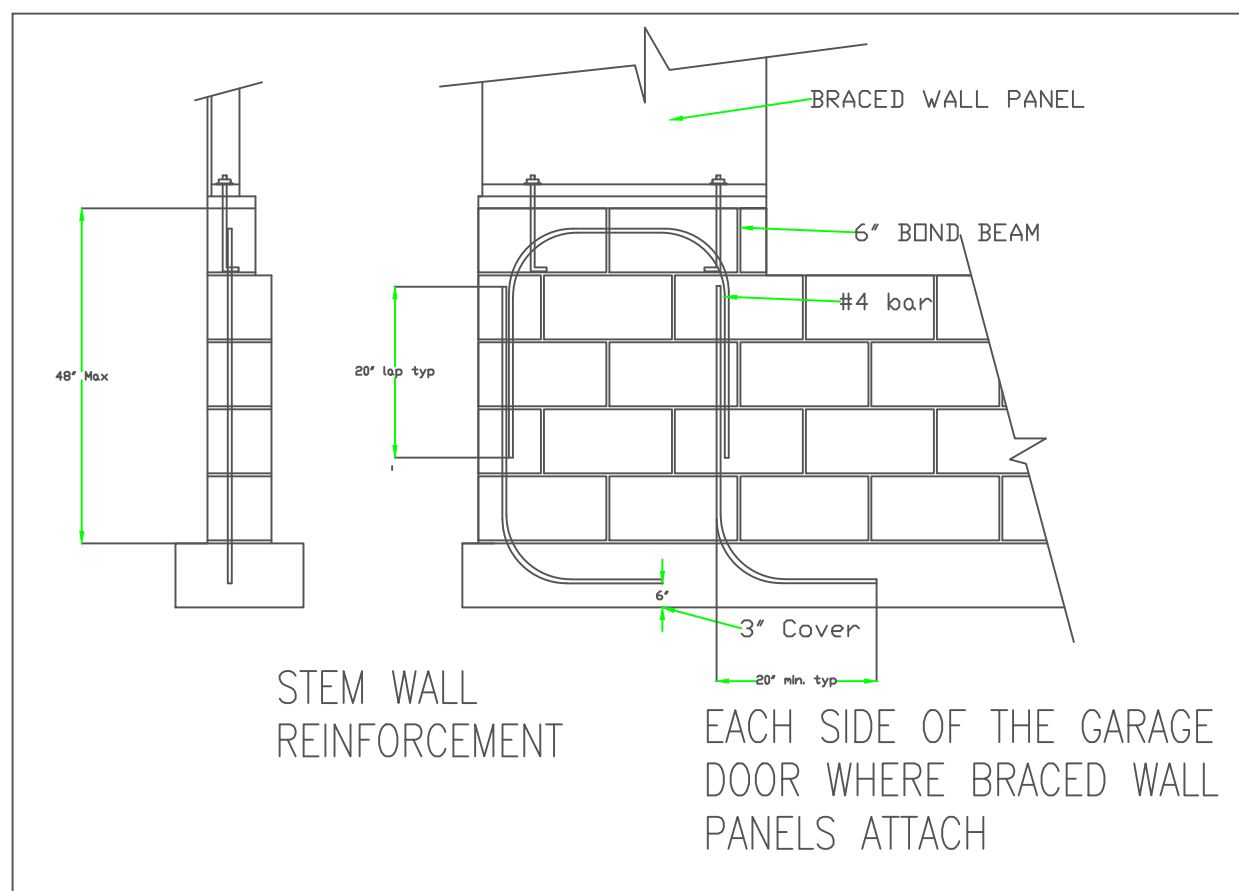
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BIGELOW HOMES  
4057 28TH STREET NW #100  
BUILDER LICENSE # BC-431673

CONTRACTOR: BIGELOW HOMES  
OWNER: HARVEST VILLA MODEL 9-8

DRAWN BY: MJP  
DATE: 3/30/26  
SQ. FT.: 1463.0  
SCALE: NOTED  
SHEET: A04  
BIGELOW HOMES



STEM WALL REINFORCEMENT

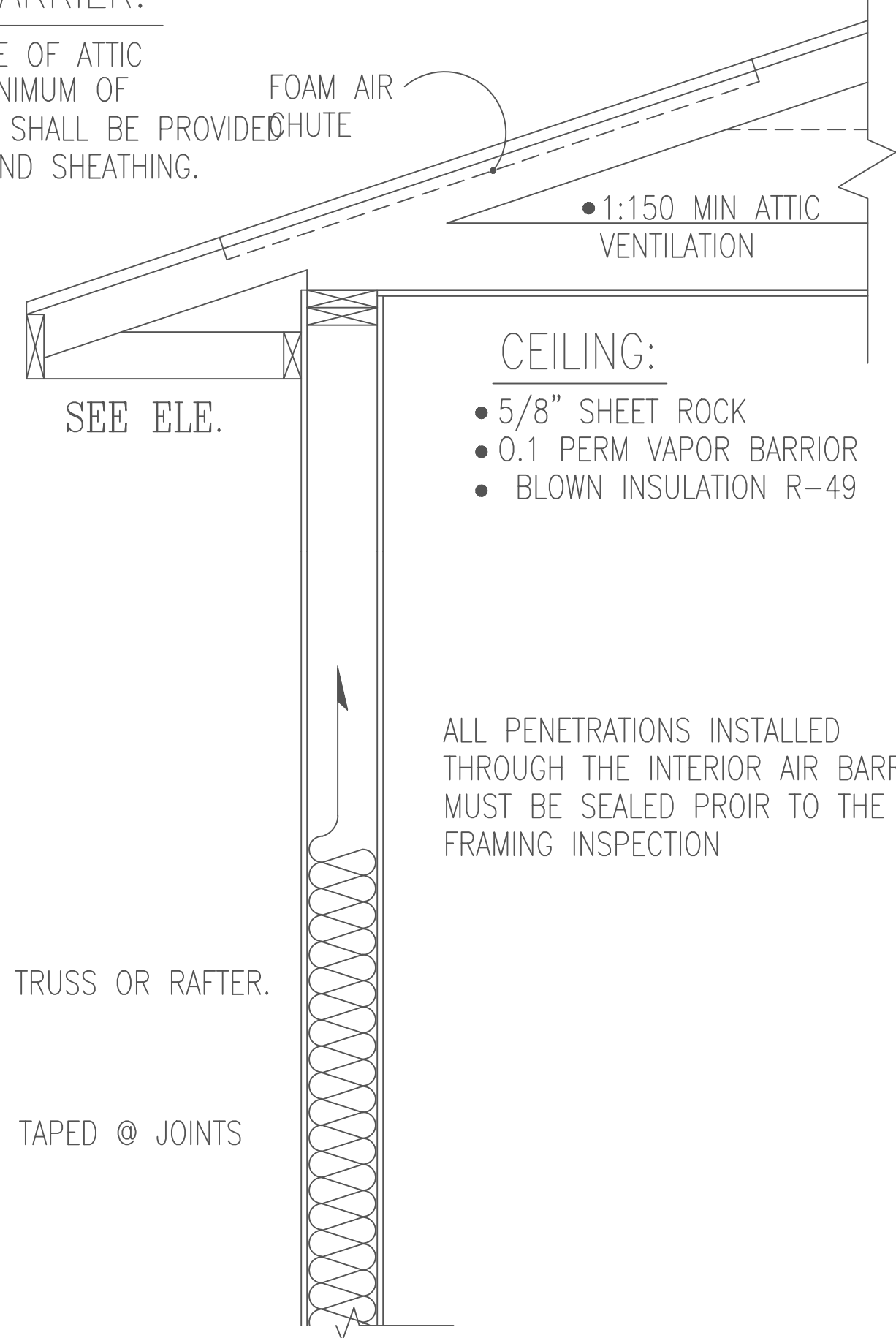
EACH SIDE OF THE GARAGE DOOR WHERE BRACED WALL PANELS ATTACH

**ROOF SYSTEM:**

ENERGY TRUSSES 24" O.C. SPECS BY MFG.  
 1/2" OSB ROOF SHEATHING P.I.I. 32/16  
 WINTERGUARD APPLIED SHINGLE FASHION FROM EAVES TO A POINT 24" INSIDE EXTERIOR WALL.  
 1 LAYER 15 # FELT ON REMAINING 30 YEAR 3 TAB ASPHALT SHINGLES  
 PROVIDE STEEL SUPPLEMENTAL UPLIFT BRACKETS FOR ALL TRUSSES.  
 PROVIDE CLIPS AS REQUIRED FOR ROOF SHEATHING  
 PROVIDE METAL IN ALL VALLEYS -CUT SHINGLE VALLEYS

**WINDWASH BARRIER:**

• AT EXTERIOR EDGE OF ATTIC INSULATION. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN INSUL AND SHEATHING.



**CEILING:**

- 5/8" SHEET ROCK
- 0.1 PERM VAPOR BARRIOR
- BLOWN INSULATION R-49

ALL PENETRATIONS INSTALLED THROUGH THE INTERIOR AIR BARRIER MUST BE SEALED PROIR TO THE FRAMING INSPECTION

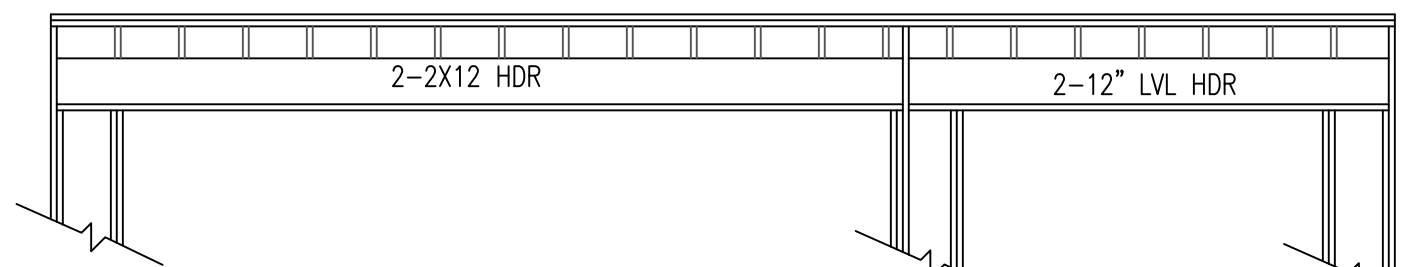
**EAVE SYSTEM:**

2X6 SUBFASCIA  
 ALUMINUM FASCIA  
 2X4 LOOKOUTS 24" O.C.  
 ALUMINUM SOFFIT W/CANT VENT  
 AIR CHTUES 48" O.C.

**EXTERIOR WALL:**

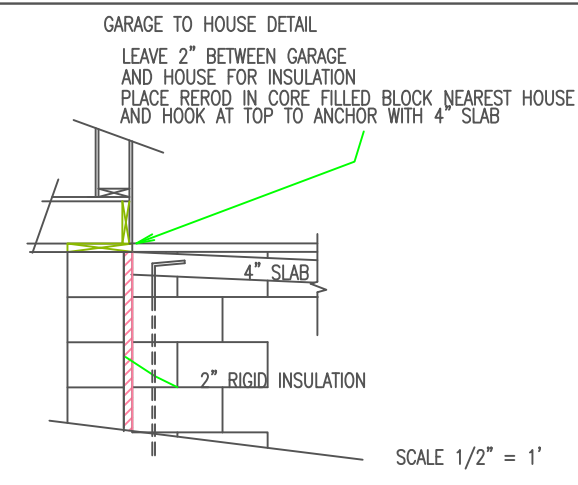
SIDING NOTED ON ELEVATIONS  
 TYVEK OR TYPAR HOUSE WRAP TO UNDERSIDE OF TOP CHORD OF TRUSS OR RAFTER.  
 7/16" OSB. WALL SHEATHING  
 2X6 STUDS 16" O.C.  
 5-1/2" F.F. INSULATION R-20  
 6 MIL POLY PERM VAPOR BARRIER TAPED @ JOINTS  
 1/2" SHEET ROCK

**CANTILEVER FOUNDATION**  
 FOOTING DOWELED TO WITH 1/2" VERTICAL REROD 48" O.C. MIN 15" ABOVE FOOTING IN GROUTED CORE  
 5 - CRS FULL 8" CONC BLOCK (42" TOTAL HEIGHT)  
 #4 REROD 48" O.C. VERTICAL  
 REROD PLACEMENT FROM SOIL SIDE 2 1/2" MIN 40 BAR DIA. LAP ALL VERTICAL RERODS 1/2" X 10" ANCHOR BOLTS 48" O.C. WITH MIN 7" EMBEDMENT  
 2X8 TREATED SILL PLATE  
 EXTERIOR WATERPROOFED FROM FOOTING TO TOP OF WALL  
 CLOSED CELL SILL SEALER FULL WIDTH OF FOUNDATION  
 2" RIDGID FOAM NON-DRAINING INSULATION ON THE EXTERIOR  
 6-MIL POLY SLIP SHEET OVER FOAM



GARAGE DOOR HEADERS

**PASSIVE RADON SYSTEM**  
 A MINIMUM 3" DIAMETER PIPE WILL BE INSTALLED THAT ATTACHES TO A "T" FITTING ON THE INSIDE DRAIN TILE AND RUN UP THROUGH THE BUILDING FLOORS AND TERMINATE AT LEAST 12" ABOVE THE SURFACE OF THE ROOF IN A LOCATION AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT, AND 10' FROM ANY WINDOW OR OTHER OPENING IN AJJOINING OR ADJACENT BUILDINGS. THE PIPE WILL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS RETARDER. RADON VENT PIPES SHALL PROVIDE ENOUGH SPACE AROUND THE PIPE FOR FUTIRE INSTALLATION OF A FAN SYSTEM. THE SPACE PROVIDED FOR THE INSTALLATION OF A FUTURE FAN SHALL BE MINIMUM OF 24" IN DIAMETER, CENTERED ON THE AXIS OF THE VENT SHAFT, AND SHALL EXTEND FOR A MINIMUM VERTICAL DISTANCE OF 36". AN APPROVED ELECTRICAL OUTLET SHALL BE INSTALL NEAR THIS SPACE. ALL RADON VENT PIPES SHALL DE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ "RADON REDUCTION SYSTEM". RADON PIPES ROUTED THROUGH UNCONDITIONED SPACE SHALL BE INSULATED WITH R-4 INSUL.



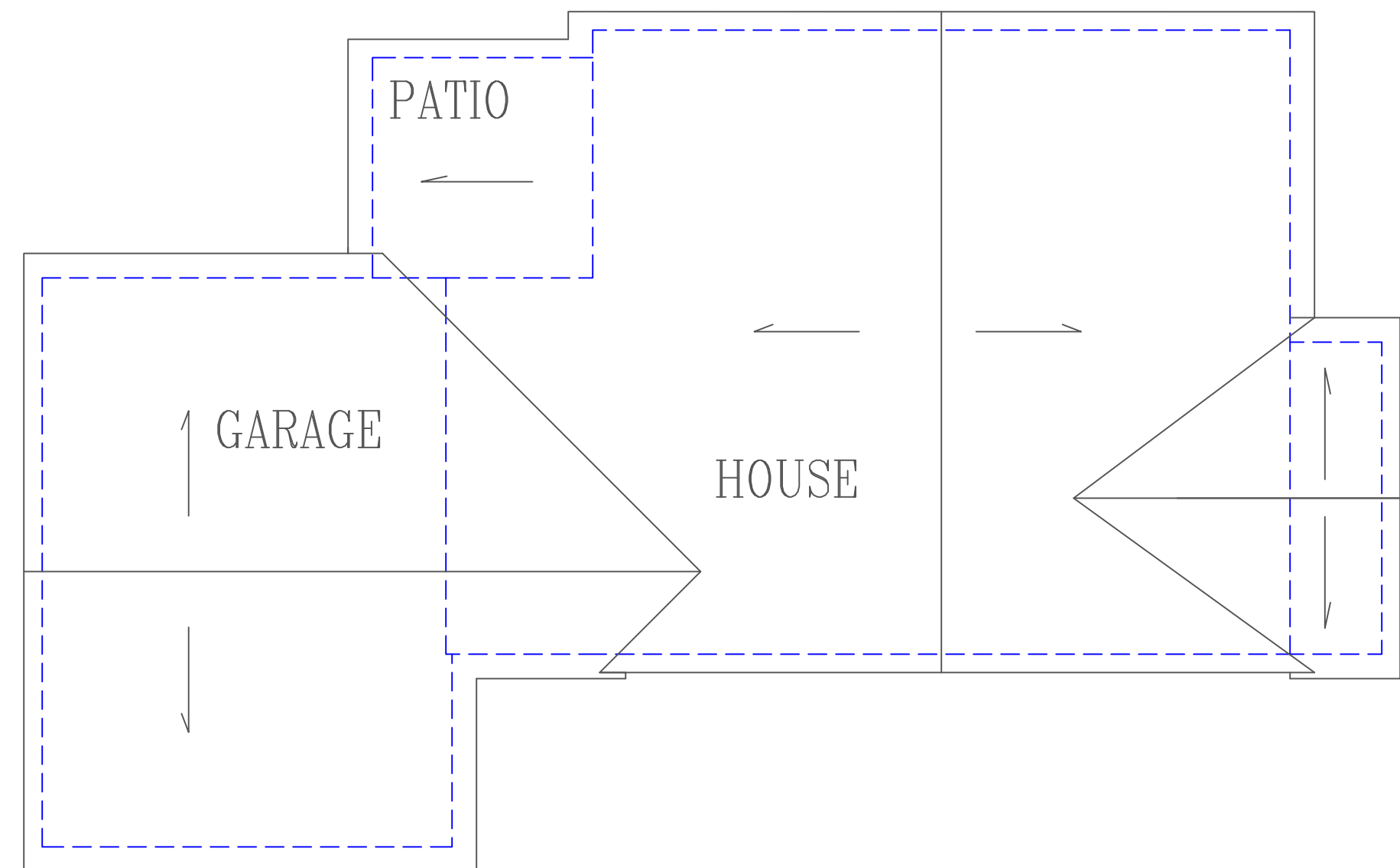
FOUNDATION DRAINAGE WILL BE DISCHARGED BY A SUMP PUMP INSTALLED IN THE SUMP BASKET

**GARAGE FOUNDATION:**  
 16"x8" CONT. CONC FOOTING  
 4-CRS FULL 8" CONC BLOCK  
 1-CRS 6"x8"x16" CONC BLOCK  
 2X6 TRTD SILL PLATE  
 6" SILL SEAL  
 1/2" X 10" ANCHOR BOLTS SPACED 72" O.C.  
 WITH MIN 7" EMBEDMENT

**STAIR SYSTEM:**  
 3-2X12 TIMBERSTRAND LSL STRINGERS  
 4" MIN NET DEPTH OF STAIR STRINGERS AT CUT OUTS  
 1X8 PINE RISERS  
 5/4X 10" PARTIAL BOARD TREADS OR 2X10 HEM FIR  
 SECURED TO STRINGERS W/4-16d CC NAILS PER STRINGER.  
 PROVIDE HANDRAIL 34"-38" HIGH  
 36" HIGH GUARDRAIL W/4 3/8" MAX OPENINGS.  
 7 3/4" MAX RISE, 10" MIN RUN  
 NOSING OF NOT LESS THAN 3/4" OR MORE THAN 1 1/4"  
 5/8" SHEET ROCK WALLS AND SOFFIT OF ENCLOSED AND UNUSABLE UNDERSTAIRS.  
 6"-8" MIN HEADROOM.  
 PROVIDE HANDRAIL AT A HEIGHT OF 34" - 38"  
 HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH AND RETURN TO THE WALL AT TOP AND BOTTOM STAIR NOSING

**VENTILATION:**  
 HRV SHALL BE INSTALLED TO MEET THE REQUIREMENT OF A BALANCED VENTILATION SYSTEM

**FIRE PROTECTION OF FLOORS**  
 FLOOR ASSEMBLIES OF I-JOISTS OR FLOOR TRUSSES SHALL BE PROTECTED WITH A 1/2 GYPSUM WALLBOARD MEMBRANE ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER  
 PROVIDE FIRE BLOCKING ALONG PERIMETER OF UNPROTECTED FLOOR FRAMING UP TO TOTAL AREA OF 80 SQ. FT.



**BIGELOW HOMES**  
 4057 28TH STREET NW #100  
 ROCHESTER, MN 55901  
 LICENSE # BC-431673

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**BIGELOW HOMES**  
 HARVEST VILLA MODEL 9-8  
 CONTRACTOR: BIGELOW HOMES  
 OWNER:

DRAWN BY: MJP  
 DATE: 3/30/26  
 SQ. FT.: 1463.0  
 SCALE: NOTED  
 SHEET: A05  
 BIGELOW HOMES